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A4.0 ADA REQUIREMENTS
A4.1 ADA REQUIREMENTS

ARCHITECTURAL: 26
TOTAL SHEETS: 26

1821-1825 28TH AVE
MULTI-FAMILY APARTMENTS

1821-1825 28TH AVE
OAKLAND, CA 94601

NYU DESIGNS
PAUL J. NYULASSIE
510.809.5883
PAUL@MODERNPREFABHOUSE.COM

07/08/19

28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

#	DESCRIPTION	DATE

1821-1825 28TH AVE
MULTI-FAMILY APARTMENTS
28TH STREET
OAKLAND, CA 94601

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SHEET TITLE
COVER SHEET

PROJECT NO. NYU19_003
DATE 07/08/2019
SCALE

A0.0
OF 26 SHTS

7/8/2019 11:09:19 AM

ATTENTION LOCAL INSPECTIONS DEPARTMENT:

THE SET-UP INSTRUCTIONS FOR THIS MODULAR BUILDING SHOULD BE PROVIDED BY THE BUILDING MANUFACTURER AND ATTACHED TO THESE PLANS. ANY PLAN SET WHICH DOES NOT INCLUDE AN ATTACHMENT ENTITLED SET-UP INSTRUCTIONS IS INCOMPLETE. IN ADDITION TO THE SET-UP THE FOLLOWING INSTRUCTIONS AND/OR INSTALLATIONS ARE SPECIFIED AND/OR REQUIRED IF APPLICABLE TO PROPERLY INSTALL THE BUILDING.

1. ON-SITE RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.

2. THE COMPLETED FOUNDATION SUPPORT SYSTEM, TIEDOWNS, AND/OR ANCHORAGE SYSTEMS.

3. ON-SITE FASTENINGS AT THE FLOOR AND ROOF RIDGE AT MATE LINES.

4. ON-SITE INSTALLATION OF INSULATION AT MATE LINES FOR FLOORS, CEILINGS AND ENDWALLS.

5. ALL EXPOSED ON-SITE PLUMBING (IE= CRAWL SPACE) SHOULD BE INSULATED TO PROTECT FROM FREEZING.

6. ATTIC VENTILATION (MIN. 1/150) ACHIEVED BY RIDGE AND GABLE VENTS (SITE INSTALLED). VENTILATION OF THE LOWER 1/2 OF ATTIC SPACE WILL BE MET THROUGH GABLE VENTS.

7. ON-SITE ELECTRICAL, PLUMBING, AND GAS INTERMODULE CONNECTIONS.

8. BUILDING DRAINS, CLEANOUTS, HOOK-UPS TO ON-SITE PLUMBING SYSTEMS.

9. ON-SITE HVAC INTERMODULE DUCT AND SYSTEM CONNECTIONS.

10. ON-SITE COMPLETION OF ROOF.

11. ON-SITE CONSTRUCTION OF COVERED PORCH(ES).

12. IF GUTTERS ARE INSTALLED BY MFG. OR SITE INSTALLED THEY SHALL ALSO HAVE GUTTER COVERS INSTALLED.

13. ON-SITE COMPLETION OF STAIRS IF APPLICABLE

PROJECT DIRECTORY

OWNER:
BYLD 2, LLC
MICHAEL YOU
2310 HOMESTEAD RD.
SUITE C1-110
LOS ALTOS, CA 94024
TEL: (408) 828-9498
MICHAEL@BYLDHOLDINGS.COM

DESIGNER:
NYUDESIGNS
PAUL J. NYULASSIE,
DESIGN PRINCIPAL, ASSOC. AIA
1120 GRAND STREET
ALAMEDA, CA 94501
TEL: (510) 809-5883
PAUL@MODERNPREFABHOUSE.COM

BUILDER CONTACT INFORMATION:
TBD

STRUCTURAL ENGINEERING:
PRECISION ENGINEERING, INC
250 MARIN STREET, SUITE A
KLAMATH FALLS, OR 97601
TEL: (541) 850-6300
BILL@STRUCTURE1.COM

SPRINKLER:
TYCO SIMPLEX GRINNELL
RANDY LOW
TEL: (916) 213-9363
RALOW@SIMPLEXGINNELL.COM

ELECTRICAL:
WESTERNSUNSYSTEMS
PO. BOX 222499
CARMEL, CA 93922
TEL: (831) 624-3337
FAX: (831) 624-3111
JIM@WESTERNSUNSYSTEMS.COM

STATE PLAN REVIEW:
HALA JAWAD, ARCHITECT
V.P., PLAN REVIEW SERVICES
RADCO
3220 E. 59TH ST.
LONG BEACH, CA 90805
T: (562) 272-7231 EX. 127
F: (562) 529-7513
E: HJAWAD@RADCOINC.COM
WWW.RADCOINC.COM

ENGINEERING:
SUMMIT ENGINEERING
5855 CASTLE DRIVE
OAKLAND, CA 94611
TEL: (510) 809-5883
FAX: (510) 482-5848

LIFE & SAFETY:
BRIAN E. HAGGLUND, P.E.
SENIOR FIRE PROTECTION ENGINEER
JENSEN HUGHES
ADVANCING THE SCIENCE OF SAFETY
2950 BUSKIRK AVENUE, SUITE 225
WALNUT CREEK, CA 94597
TEL: (925) 938-3550
bhagglund@jensenhughes.com
www.jensenhughes.com

FACTORY BUILDER:
TBD.

MECH., PUMBING & ENERGY:
MONTEREY ENERGY GROUP
26465 CARMEL RANCHO BLVD. #8
CARMEL, CA 93923
TEL: (831) 372-8328

PROJECT INFORMATION

ADDRESS:
1821-1825 28TH STREET
OAKLAND, CA 94601

APN:
PARCEL 025-0733-010

SITE AREA:
14,325.61 (SF)

OCCUPANCY:
RM-4

ZONING:
RM-4
MIXED HOUSING TYPE RESIDENTIAL - 4 ZONE

DENSITY:
LOTS GREATER THAN 4,000 SQ. FT. 1 UNIT PER 1,100 SQ. FT.

PROJECT JUSTIFICATION:
LOT: 14,325.61 SQ. FT / 1,100 SQ. FT. = 13 UNITS ALLOWED

EXISTING BUILDING: 6 UNITS

SCOPE OF WORK:
PROPOSING:
(6) 2 BEDROOM, 1 BATH UNITS &
(1) 1 BEDROOM, 1 BATH UNIT.
TOTAL 7 UNITS PROPOSED

BUILDING AREA: NOT INCLUDING 62SF OF ENTRY PORCH

"UNIT A"	738 SQ. FT.
"UNIT B"	469 SQ. FT.
"UNIT C"	738 SQ. FT.
"UNIT D"	738 SQ. FT.
"UNIT E"	738 SQ. FT.
"UNIT F"	738 SQ. FT.
"UNIT G"	738 SQ. FT.
TOTAL	4,897 SQ. FT.

HEIGHT:
MAXIMUM BUIDING HEIGHT ALLOWED: 35'-0"
PROPOSED BUILDING HEIGHT: 23'-9 1/2"

SETBACKS:

FRONT:	61'-0"
SIDE:	4'-0"
SIDE:	4'-0"
REAR:	8'-3"

PARKING:
14 PARKING SPACES PROVIDED. 13 STANDARD, AND (1) ADA

LOCATED NEAR A BUS STOP.

SHEET INDEX

ARCHITECTURAL INDEX

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SUMMIT ENGINEERING

CIVIL INDEX
TBD

SPRINKLER INDEX
TYCO SIMPLEX GRINNEL

HVAC INDEX
MONTEREY ENERGY GROUP

TITLE 24 INDEX
MONTEREY ENERGY GROUP

ELECTRICAL INDEX
WESTERNER SUN SYSTEMS

SUBMITTAL INFORMATION

GENERAL NOTES

STATE:	CALIFORNIA
CODES	2016 CALIFORNIA RESIDENTIAL BLDG. CODE
	2016 CALIFORNIA BLDG. CODE
	2016 CALIFORNIA MECHANICAL CODE
	2016 CALIFORNIA PLUMBING CODE
	2016 CALIFORNIA ELECTRIC CODE
	2016 CALIFORNIA ENERGY CODE (TITLE 24)
	2016 CALIFORNIA GREEN BUILDING STDS. CODE
	2016 CLAIFORNIA FIRE CODE
	THE LOCAL MUNICIPAL CODE

NOTE:

A "NONCOMBUSTIBLE" ROOF IS A CLASS A ROOF (FOR OTHER THAN GROUP R OCCUPANCIES, A CLASS A OR CLASS A ASSEMBLY) AS DEFINED IN THE UNIFORM BUILDING CODE AND APPROVED BY THE BUILDING DEPARTMENT.

DESIGN CRITERIA

OCCUPANCY TYPE:	XX
SEISMIC ZONE:	4
CONSTRUCTION TYPE:	TYPE V

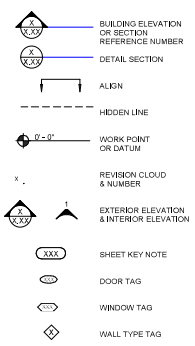
GRAVITY LOAD PARAMETERS

GRAVITY LOAD PARAMETERS

	DEAD	LIVE	TOTAL
ROOF LOAD:			
FLOOR LOAD:			
WALL (EXT):		SEE STRUCTURAL	
WALL (INT):		DRAWINGS & CALCS	
GROUND SNOW LOAD:			
WIND DESIGN SPEED:			
ROOF PITCH:			

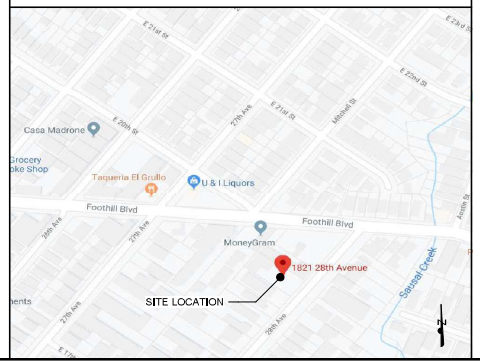
THIS HOME AND ALL ITS ENTIRETY SHALL BE BUILT TO THE HCD REQUIREMENTS OF THE FACTORY-BUILT HOUSING PROGRAM IN THE FACTORY AND ON-SITE

SYBMBOLS



VICINITY MAP

N.T.S.



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07/08/19

28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

#	DESCRIPTION	DATE

1821-1825 28TH AVE
MULTI-FAMILY APARTMENTS
28TH STREET
OAKLAND, CA 94601

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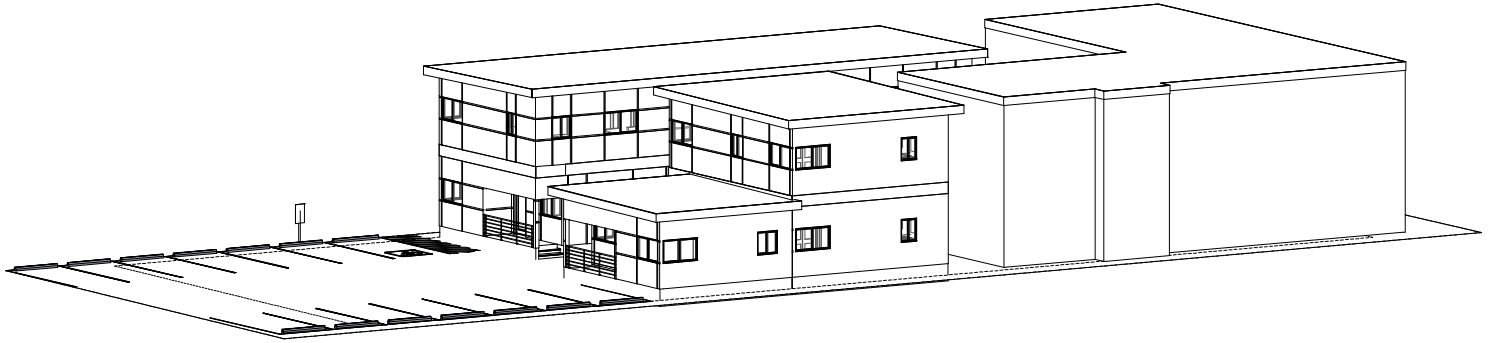
SHEET TITLE
TITLE SHEET

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A0.1
OF 26 SHTS

7/8/2019 11:09:21 AM

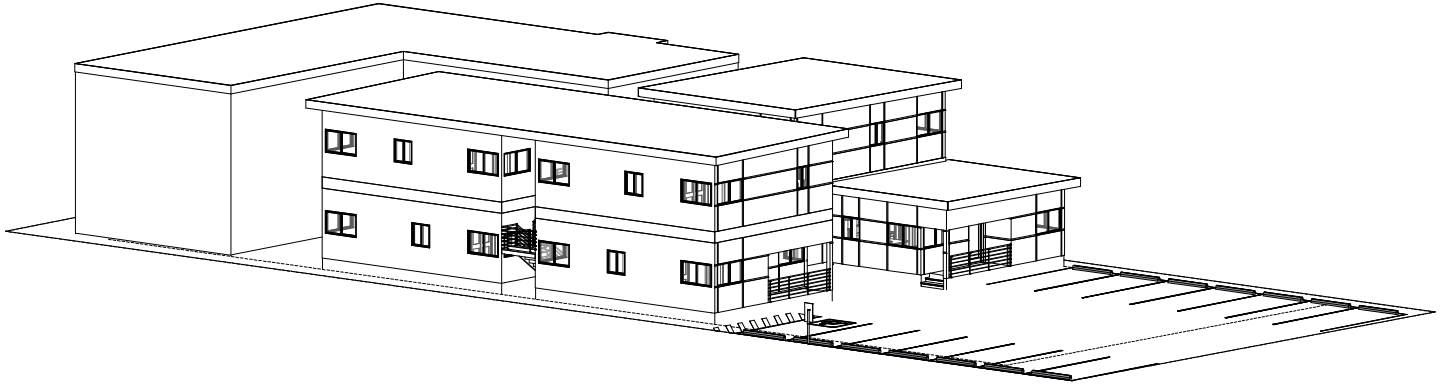
28TH STREET SEVEN UNITS



FRONT ISO VIEW

SCALE

:



REAR ISO VIEW

SCALE

:

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OAKLAND, CA 94601

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SHEET TITLE

ISOMETRIC 3D VIEWS

PROJECT NO. NYU19_003

DATE 07/08/2019

SCALE

A0.2

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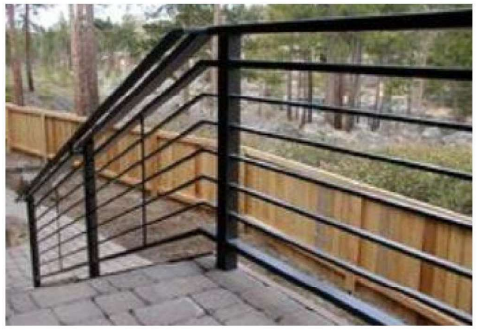
EXTERIOR MOUNTED DOWNLIGHT

ANODIZED BRONZE WINDOWS



METAL RAILINGS & STAIRS
ANODIZED BRONZE

SMOOTH STUCCO OR HARDIE PANEL
WITH REVEALS
COLOR: CREAM

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28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

KEYPLAN

REVISIONS

#	DESCRIPTION	DATE

1821-1825 28TH AVE
MULTI-FAMILY APARTMENTS
28TH STREET
OAKLAND, CA 94601

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SHEET TITLE
MATERIALS

PROJECT NO. NYU19_003
DATE 07/08/2019
SCALE

A0.3
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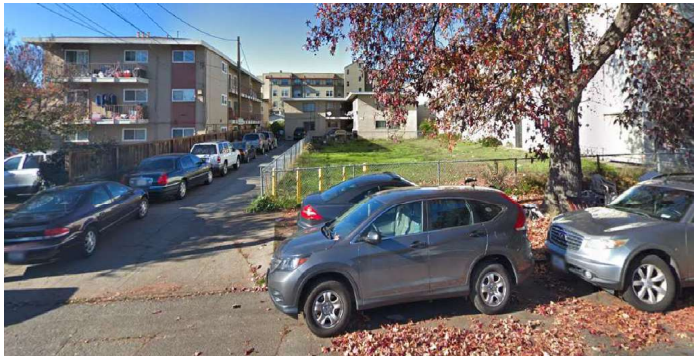
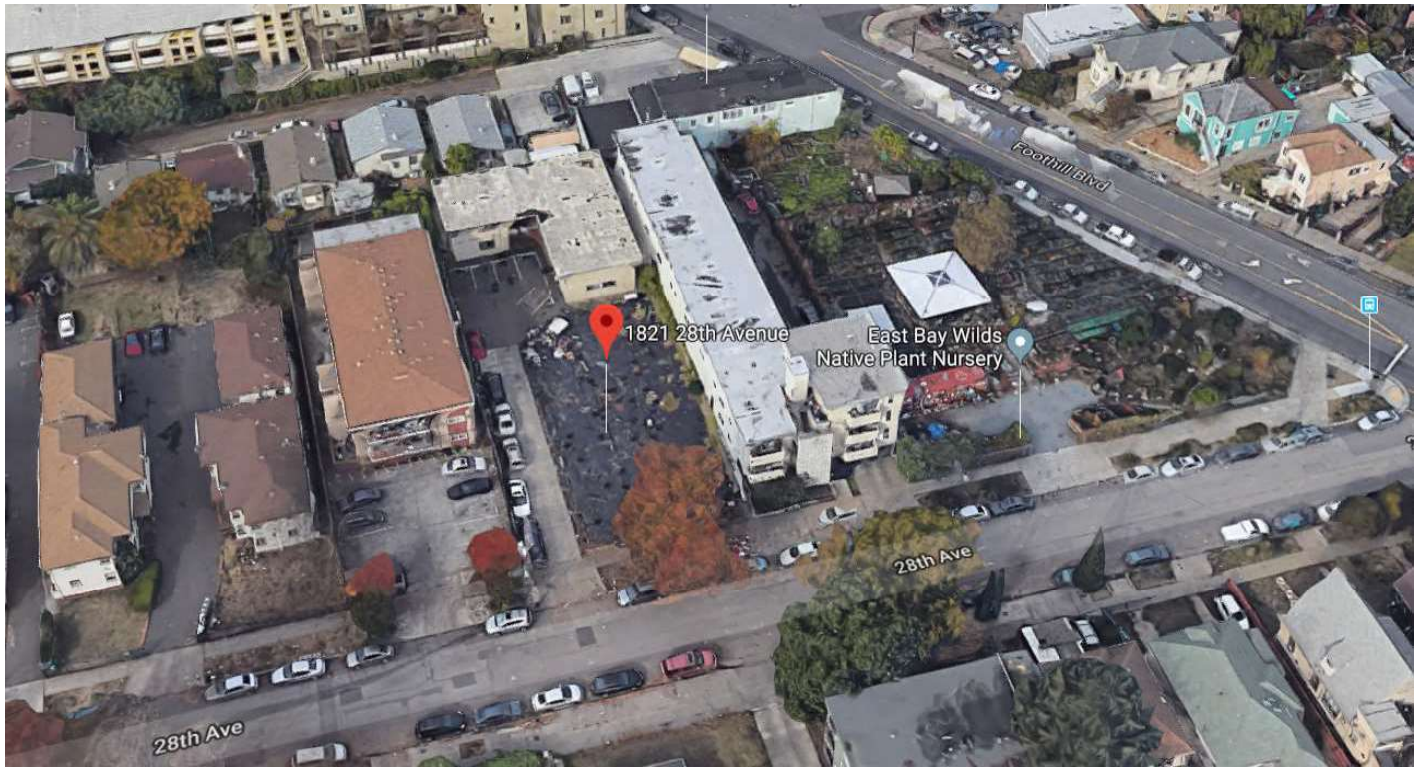


28TH STREET VIEW

28TH STREET VIEW



AERIAL VIEW

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28TH STREET
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DESIGN REVIEW

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SHEET TITLE
CONTEXT PHOTOS

PROJECT NO. NYU19_003
DATE 07/08/2019
SCALE

A0.4
OF 26 SHTS

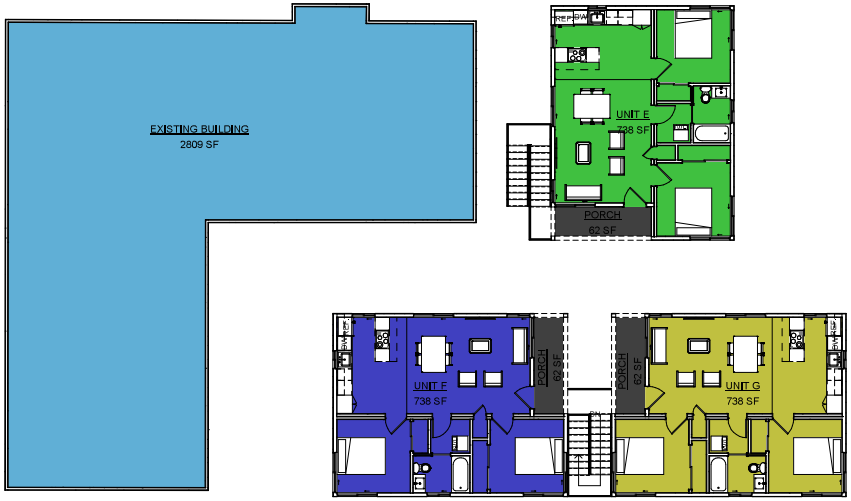
7/8/2019 11:09:32 AM

UNIT SCHEDULE		
NAME	LEVEL	AREA
UNIT A	FF - 1	738 SF
UNIT B	FF - 1	469 SF
UNIT C	FF - 1	738 SF
UNIT D	FF - 1	738 SF
UNIT E	FF - 2	738 SF
UNIT F	FF - 2	738 SF
UNIT G	FF - 2	738 SF
TOTAL: 7		4,897 SF

AREA SCHDULE		
NAME	LEVEL	AREA
EXISTING BUILDING	FF - 1	2,809 SF
EXISTING BUILDING	FF - 2	2,809 SF
(E): 2		5,618 SF
FIRE TRUCK ACCESS	FF - 1	1,218 SF
FIRE DEPARTMENT: 1		1,218 SF
PARKING	FF - 1	1,170 SF
PARKING	FF - 1	1,073 SF
PARKING: 2		2,243 SF
STAIRS	FF - 1	89 SF
STAIRS	FF - 1	81 SF
STAIRS: 2		170 SF
UNIT A	FF - 1	738 SF
PORCH	FF - 1	62 SF
UNIT A: 2		800 SF
UNIT B	FF - 1	469 SF
PORCH	FF - 1	62 SF
UNIT B: 2		530 SF
UNIT C	FF - 1	738 SF
PORCH	FF - 1	62 SF
UNIT C: 2		800 SF
UNIT D	FF - 1	738 SF
PORCH	FF - 1	62 SF
UNIT D: 2		800 SF
UNIT E	FF - 2	738 SF
PORCH	FF - 2	62 SF
UNIT E: 2		800 SF
UNIT F	FF - 2	738 SF
PORCH	FF - 2	62 SF
UNIT F: 2		800 SF
UNIT G	FF - 2	738 SF
PORCH	FF - 2	62 SF
UNIT G: 2		800 SF
TOTAL: 21		14,579 SF

MAIN LEVEL FLOOR PLAN AREA PLAN

SCALE 1/8" = 1'-0"



UPPER LEVEL FLOOR PLAN AREA PLAN

SCALE 1/8" = 1'-0"

AREA LEGEND

- EXISTING BUILDING
- FIRE TRUCK ACCESS
- PARKING
- PORCH
- STAIRS
- UNIT A
- UNIT B
- UNIT C
- UNIT D

AREA LEGEND

- EXISTING BUILDING
- PORCH
- UNIT E
- UNIT F
- UNIT G

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OAKLAND, CA 94601

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SHEET TITLE
AREA PLAN

PROJECT NO. NYU19_003
DATE 07/08/2019
SCALE 1/8" = 1'-0"

A0.6
OF 26 SHTS

7/8/2019 11:09:40 AM

MODULE SCHDULE		
NAME	LEVEL	AREA
MODULE 1	FF - 1	450 SF
MODULE 2	FF - 1	350 SF
MODULE 3	FF - 1	232 SF
MODULE 4	FF - 1	298 SF
MODULE 5	FF - 1	450 SF
MODULE 6	FF - 1	350 SF
MODULE 7	FF - 1	450 SF
MODULE 8	FF - 1	350 SF
1ST LEVEL MODULE: 8		2930 SF
MODULE 9	FF - 2	450 SF
MODULE 10	FF - 2	350 SF
MODULE 11	FF - 2	450 SF
MODULE 12	FF - 2	350 SF
MODULE 13	FF - 2	450 SF
MODULE 14	FF - 2	350 SF
2ND LEVEL MODULE: 6		2400 SF
STAIRS	FF - 1	89 SF
STAIRS	FF - 1	81 SF
SITE BUILT: 2		170 SF
Grand total: 16		5500 SF

MODULE LEGEND

- MODULE 1
- MODULE 2
- MODULE 3
- MODULE 4
- MODULE 5
- MODULE 6
- MODULE 7
- MODULE 8
- STAIRS

MAIN LEVEL FLOOR PLAN
MODULE PLAN

SCALE 1/4" = 1'-0"

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DESIGN REVIEW

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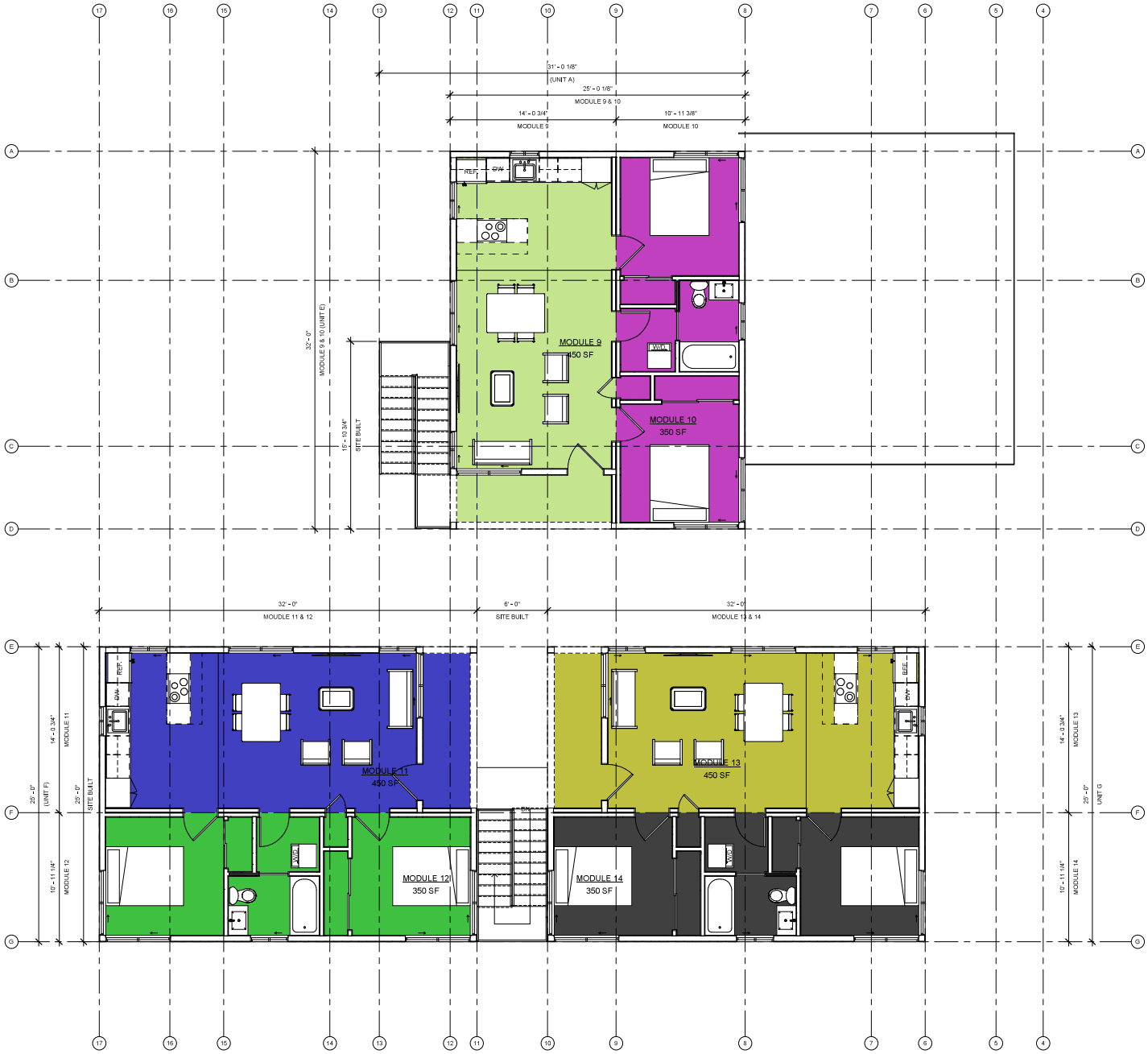
SHEET TITLE
MODULE PLAN
(MAIN LEVEL)

PROJECT NO. NYU19_003
DATE 07/08/2019
SCALE 1/4" = 1'-0"

A0.7
OF 26 SHTS

7/8/2019 11:09:44 AM



MODULE SCHDULE		
NAME	LEVEL	AREA
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MODULE 2	FF - 1	350 SF
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MODULE 12	FF - 2	350 SF
MODULE 13	FF - 2	450 SF
MODULE 14	FF - 2	350 SF
2ND LEVEL MODULE: 6		2400 SF
STAIRS	FF - 1	89 SF
STAIRS	FF - 1	81 SF
SITE BUILT: 2		170 SF
Grand total: 16		5500 SF

MODULE LEGEND

- MODULE 9
- MODULE 10
- MODULE 11
- MODULE 12
- MODULE 13
- MODULE 14

UPPER LEVEL FLOOR PLAN
MODULE PLAN

SCALE 1/4" = 1'-0"

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SHEET TITLE
MODULE PLAN
(UPPER LEVEL)

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	1/4" = 1'-0"

A0.8
OF 26 SHTS

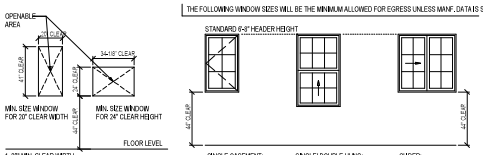
7/8/2019 11:09:47 AM

DOOR SCHEDULE.

TYPE MARK	QTY.	NET WIDTH	NET HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	HEAD HT.	TYPE	GLAZING	COMMENTS
01	7	32"	81"	30"	80"	80"			
02	13	36"	81"	34"	80"	80"			
03	7	38"	81"	36"	80"	80"			
04	6	50"	81"	48"	80"	80"			
05	1	62"	81"	60"	80"	80"			
06	6	74"	81"	72"	80"	80"			
07	1	46"	81"	48"	80"	80"			
08	6	61"	84 1/2"	30"	80"	80"			
09	6	22"	81"	20"	80"	80"			
TOTAL: 53									

WINDOW SCHEDULE.

TYPE MARK	QTY.	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	SILL HT	HEAD HT	TYPE	COMMENTS
A	39	67"	39"	66"	38"	42"	80"	Horizontal Sliding Windows	
B	19	39"	39"	38"	38"	42"	80"	Horizontal Sliding Windows	
H	6	31"	39"	30"	38"	42"	80"	Horizontal Sliding Windows	



1. 20" MIN. CLEAR WIDTH
2. 24" MIN. CLEAR HEIGHT
3. 3.7 SF MIN. OPENABLE AREA *

*GRADE FLOOR EGRESS OPENING MAY BE REDUCED TO 5.0 NET CLEAR OPENING. R310.1.1 EXC.

EMERGENCY ESCAPE/EXIT WINDOW R310

SINGLE CASEMENT:
3-4 x 4-0
3-8 x 3-6
DOUBLE CASEMENT:
4-8 x 4-0
CASEMENT/ FIXED COMBO:
7-0 x 4-0
OTHER WINDOW TYPES
AWNING:
NONE W/O MANF. DATA
BAY FIXED CENTER:
NONE W/O MANF. DATA

SINGLE/ DOUBLE HUNG:
3-0 x 5-0
3-4 x 5-0
3-8 x 5-0
3-0 x 5-0
4-0 x 5-0
SINGLE/ FIXED COMBO:
NONE W/O MANF. DATA

SLIDER:
4-0 x 4-0
5-0 x 3-6
6-0 x 3-6
SLIDER/FIXED COMBO:
8-0 x 4-0
10-0 x 4-0
12-0 x 3-0

NOTE: SIZES ARE TAKEN FROM DATA SUPPLIED BY WINDOW MANUFACTURERS. HOWEVER THESE ARE GENERAL DIMENSIONS. IT IS THE OWNERS RESPONSIBILITY TO VERIFY THAT THE ACTUAL WINDOWS INSTALLED MEET THE MINIMUM EGRESS REQUIREMENTS.

EMERGENCY ESCAPE/EXIT WINDOW

EGRESS WINDOWS

N.T.S

AREA SCHDULE

NAME	LEVEL	AREA
EXISTING BUILDING	FF - 1	2,809 SF
EXISTING BUILDING	FF - 2	2,809 SF
(E): 2		5,618 SF
FIRE TRUCK ACCESS	FF - 1	1,218 SF
FIRE DEPARTMENT: 1		1,218 SF
PARKING	FF - 1	1,170 SF
PARKING	FF - 1	1,073 SF
PARKING: 2		2,243 SF
STAIRS	FF - 1	89 SF
STAIRS	FF - 1	81 SF
STAIRS: 2		170 SF
UNIT A	FF - 1	738 SF
PORCH	FF - 1	62 SF
UNIT A: 2		800 SF
UNIT B	FF - 1	469 SF
PORCH	FF - 1	62 SF
UNIT B: 2		530 SF
UNIT C	FF - 1	738 SF
PORCH	FF - 1	62 SF
UNIT C: 2		800 SF
UNIT D	FF - 1	738 SF
PORCH	FF - 1	62 SF
UNIT D: 2		800 SF
UNIT E	FF - 2	738 SF
PORCH	FF - 2	62 SF
UNIT E: 2		800 SF
UNIT F	FF - 2	738 SF
PORCH	FF - 2	62 SF
UNIT F: 2		800 SF
UNIT G	FF - 2	738 SF
PORCH	FF - 2	62 SF
UNIT G: 2		800 SF
TOTAL: 21		14,579 SF

UNIT SCHEDULE

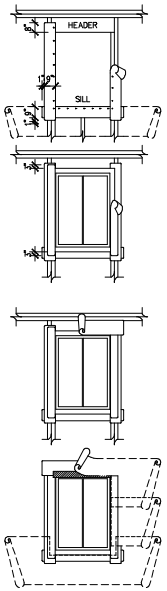
NAME	LEVEL	AREA
UNIT A	FF - 1	738 SF
UNIT B	FF - 1	469 SF
UNIT C	FF - 1	738 SF
UNIT D	FF - 1	738 SF
UNIT E	FF - 2	738 SF
UNIT F	FF - 2	738 SF
UNIT G	FF - 2	738 SF
TOTAL: 7		4,897 SF

ROOM SCHEDULE

NAME	UNIT	AREA	LEVEL	FINISH FLOOR	FINISH BASE	FINISH WALL	FINISH CEILING	PERIMETER
BATH	UNIT A	39 SF	FF - 1					25' - 5"
BEDROOM #1	UNIT A	100 SF	FF - 1					40' - 0"
BEDROOM #2	UNIT A	100 SF	FF - 1					40' - 0"
CLO #1	UNIT A	5 SF	FF - 1					9' - 0"
CLO #2	UNIT A	14 SF	FF - 1					18' - 2 1/2"
CLO #3	UNIT A	9 SF	FF - 1					13' - 2 1/2"
KITCHEN	UNIT A	125 SF	FF - 1					45' - 3 3/4"
LIVING/DINING ROOM	UNIT A	221 SF	FF - 1					59' - 10 1/4"
LNDY	UNIT A	24 SF	FF - 1					19' - 10"
PORCH	UNIT A	53 SF	FF - 1					34' - 3 1/4"
UNIT A: 10		690 SF						305' - 1 1/4"
BATH	UNIT B	39 SF	FF - 1					25' - 5"
BEDROOM	UNIT B	105 SF	FF - 1					44' - 1"
CLO	UNIT B	12 SF	FF - 1					16' - 0"
KITCHEN	UNIT B	108 SF	FF - 1					42' - 8 1/4"
LIVING ROOM	UNIT B	96 SF	FF - 1					40' - 10 1/2"
LNDY	UNIT B	25 SF	FF - 1					20' - 3 1/2"
PORCH	UNIT B	52 SF	FF - 1					34' - 2 1/4"
UTL CLO	UNIT B	9 SF	FF - 1					13' - 2 1/2"
UNIT B: 8		446 SF						236' - 9"
BATH	UNIT C	39 SF	FF - 1					25' - 5"
BEDROOM #1	UNIT C	100 SF	FF - 1					40' - 0"
BEDROOM #2	UNIT C	100 SF	FF - 1					40' - 0"
CLO #1	UNIT C	5 SF	FF - 1					9' - 0"
CLO #2	UNIT C	14 SF	FF - 1					18' - 2 1/2"
CLO #3	UNIT C	9 SF	FF - 1					13' - 2 1/2"
KITCHEN	UNIT C	125 SF	FF - 1					45' - 3 3/4"
LIVING/DINING ROOM	UNIT C	221 SF	FF - 1					59' - 10 1/4"
LNDY	UNIT C	24 SF	FF - 1					19' - 10"
PORCH	UNIT C	53 SF	FF - 1					34' - 3 1/4"
UNIT C: 10		690 SF						305' - 1 1/4"
BATH	UNIT D	39 SF	FF - 1					25' - 5"
BEDROOM #1	UNIT D	100 SF	FF - 1					40' - 0"
BEDROOM #2	UNIT D	100 SF	FF - 1					40' - 0"
CLO #1	UNIT D	5 SF	FF - 1					9' - 0"
CLO #2	UNIT D	14 SF	FF - 1					18' - 2 1/2"
CLO #3	UNIT D	9 SF	FF - 1					13' - 2 1/2"
KITCHEN	UNIT D	125 SF	FF - 1					45' - 3 3/4"
LIVING/DINING ROOM	UNIT D	221 SF	FF - 1					59' - 10 1/4"
LNDY	UNIT D	24 SF	FF - 1					19' - 10"
PORCH	UNIT D	53 SF	FF - 1					34' - 3 1/4"
UNIT D: 10		690 SF						305' - 1 1/4"
BATH	UNIT E	39 SF	FF - 2					25' - 5"
BEDROOM #1	UNIT E	100 SF	FF - 2					40' - 0"
BEDROOM #2	UNIT E	100 SF	FF - 2					40' - 0"
CLO #1	UNIT E	5 SF	FF - 2					9' - 0"
CLO #2	UNIT E	14 SF	FF - 2					18' - 2 1/2"
CLO #3	UNIT E	9 SF	FF - 2					13' - 2 1/2"
KITCHEN	UNIT E	125 SF	FF - 2					45' - 3 3/4"
LIVING/DINING ROOM	UNIT E	221 SF	FF - 2					59' - 10 1/4"
LNDY	UNIT E	24 SF	FF - 2					19' - 10"
PORCH	UNIT E	53 SF	FF - 2					34' - 3 1/4"
UNIT E: 10		690 SF						305' - 1 1/4"
BATH	UNIT F	39 SF	FF - 2					25' - 5"
BEDROOM #1	UNIT F	100 SF	FF - 2					40' - 0"
BEDROOM #2	UNIT F	100 SF	FF - 2					40' - 0"
CLO #1	UNIT F	5 SF	FF - 2					9' - 0"
CLO #2	UNIT F	14 SF	FF - 2					18' - 2 1/2"
CLO #3	UNIT F	9 SF	FF - 2					13' - 2 1/2"
KITCHEN	UNIT F	125 SF	FF - 2					45' - 3 3/4"
LIVING/DINING ROOM	UNIT F	221 SF	FF - 2					59' - 10 1/4"
LNDY	UNIT F	24 SF	FF - 2					19' - 10"
PORCH	UNIT F	53 SF	FF - 2					34' - 3 1/4"
UNIT F: 10		690 SF						305' - 1 1/4"
BATH	UNIT G	39 SF	FF - 2					25' - 5"
BEDROOM #1	UNIT G	100 SF	FF - 2					40' - 0"
BEDROOM #2	UNIT G	100 SF	FF - 2					40' - 0"
CLO #1	UNIT G	5 SF	FF - 2					9' - 0"
CLO #2	UNIT G	14 SF	FF - 2					18' - 2 1/2"
CLO #3	UNIT G	9 SF	FF - 2					13' - 2 1/2"
KITCHEN	UNIT G	125 SF	FF - 2					45' - 3 3/4"
LIVING/DINING ROOM	UNIT G	221 SF	FF - 2					59' - 10 1/4"
LNDY	UNIT G	24 SF	FF - 2					19' - 10"
PORCH	UNIT G	53 SF	FF - 2					34' - 3 1/4"
UNIT G: 10		690 SF						305' - 1 1/4"
TOTAL: 68		4,584 SF						2067' - 4 1/2"

PARKING SCHEDULE

MARK	TYPE
1	8'-6" x 18' STANDARD
2	8'-6" x 18' STANDARD
3	8'-6" x 18' STANDARD
4	8'-6" x 18' STANDARD
5	8'-6" x 18' STANDARD
6	8'-6" x 18' STANDARD
7	8'-6" x 18' STANDARD
8	9' x 18' w/ 5' ACCESS AISLE ADA PARKING
9	8'-6" x 18' STANDARD
10	8'-6" x 18' STANDARD
11	8'-6" x 18' STANDARD
12	8'-6" x 18' STANDARD
13	8'-6" x 18' STANDARD
14	8'-6" x 18' STANDARD
TOTAL: 14	



1. APPLY 2-LAYERS BLDG. PAPER @ SILL
2. INSTALL 12" SELF-ADHESIVE MEMBRANE (S.A.M.) AT SILL w/3" LAPPING SILL AND 9" LAPPING BLDG. PAPER.
3. INSTALL 9" S.A.M. AT JAMBS.

NOTE: SHEATHING NOT SHOWN FOR CLARITY

4. INSTALL WINDOW IN SEALANT BED.
5. WIPE BASE S.A.M. AND NAILING FIN CLEAN.
6. INSTALL 6" S.A.M. AT JAMB LAPPING NAILING FIN. EXTEND 3" MIN. BEYOND NAILING FIN TOP AND BOTTOM.
7. INSTALL 9" S.A.M. AT THE HEAD OVER THE NAILING FIN AND EXTENDING BEYOND THE JAMB FLASHING.
8. INSTALL 24 GA. G.S.M. FLASHING CAP AT HEAD. LAP G.S.M. w/6" S.A.M.
9. INSTALL BLDG. PAPER AT THE JAMB OVER S.A.M. ADD BLDG. PAPER COURSES, OVERLAPPING COURSE BELOW 2" MIN. AT THE HEAD LAP FLASHING CAP AND S.A.M.

NOTE: SHEATHING NOT SHOWN FOR CLARITY

WINDOW FLASHING

N.T.S

EGRESS:

1. EMERGENCY ESCAPE AND RESCUE. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE A DOOR DIRECTLY TO THE EXTERIOR OR A WINDOW THAT WILL PROVIDE A CLEAR SPACE OPENING OF AT LEAST 5.7 SQUARE FEET IN THE OPEN POSITION (5 SQ. FT., AT GRADE FLOOR OPENINGS), AND A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES AND CLEAR OPENING HEIGHT OF 24 INCHES AND THE SILL HEIGHT SHALL BE MAXIMUM 44" ABOVE THE FLOOR. THE REQUIRED OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT LEADS TO A PUBLIC WAY. [§R310 CRC]
2. PROVIDE LANDINGS AT EXTERIOR DOORS EQUAL TO THE WIDTH OF THE DOOR AND A LENGTH IN THE DIRECTION OF TRAVEL EQUAL TO 36 INCHES. SLOPE OF EXTERIOR LANDINGS SHALL NOT EXCEED ¼" PER FOOT (2% SLOPE). [§R311.3 CRC]
3. LANDINGS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. LANDINGS WITH DOORS THAT DO NOT SWING OVER THE LANDING MAY HAVE A DIFFERENCE IN ELEVATION OF 7 ¾" MAXIMUM BELOW THE TOP OF THE THRESHOLD. [§R311.3.1 CRC]
4. LANDINGS AT DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. [§ R311.3.2 CRC]

GLAZING:

1. EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE. GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257. OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R337.8.2.1 CRC]

WINDOW NOTES

CRAWLSPACE VENTING

1/150 PER SQ.FT. CRAWLSPACE VENTING LOCATION CUT THROUGH RIM AFTER BUILDING SET IF CRAWLSPACE IS CONDITIONED AND A 6 MIL POLYETHYLENE VAPOR BARRIER IS USED ON THE CRAWLSPACE FLOOR, 1/1500 PER SQ.FT. OF VENTING IS REQUIRED.

6.2 SQ.FEET OF VENTILATION AREA REQUIRED.
18 VENT @ 14" x 6" = 84$^{SQ.IN}$ ($52^{SQ.IN}$ NET OPENING EACH)
-LOCATED CLOSE TO CORNERS & EVENLY DISTRIBUTED TO PROVIDED CROSS VENTILATION

CRAWLSPACE VENTING CALCULATION

FOUNATION AREA:	930 SQFT
RQ'D VENTING AREA:	930 / 150 = 6.2 SQFT
FDN VENT SIZE:	14" x 6" = 84SQIN (52SQIN NET) / 144 = .36 SQFT
# OF VENTS REQ'D:	6.2 / .36 = 17.22
PROVIDE MN:	18 VENTS

ROOF VENTING:

NON-VENTED ROOF RIGID INSULATION APPLIED TO EXTERIOR ROOF SHEATHING

VENTING

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28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

#	DESCRIPTION	DATE

1821-1825 28TH AVE MULTI-FAMILY APARTMENTS

28TH STREET
OAKLAND, CA 94601

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SHEET TITLE
SCHEDULES & NOTES

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A0.9

OF 26 SHTS

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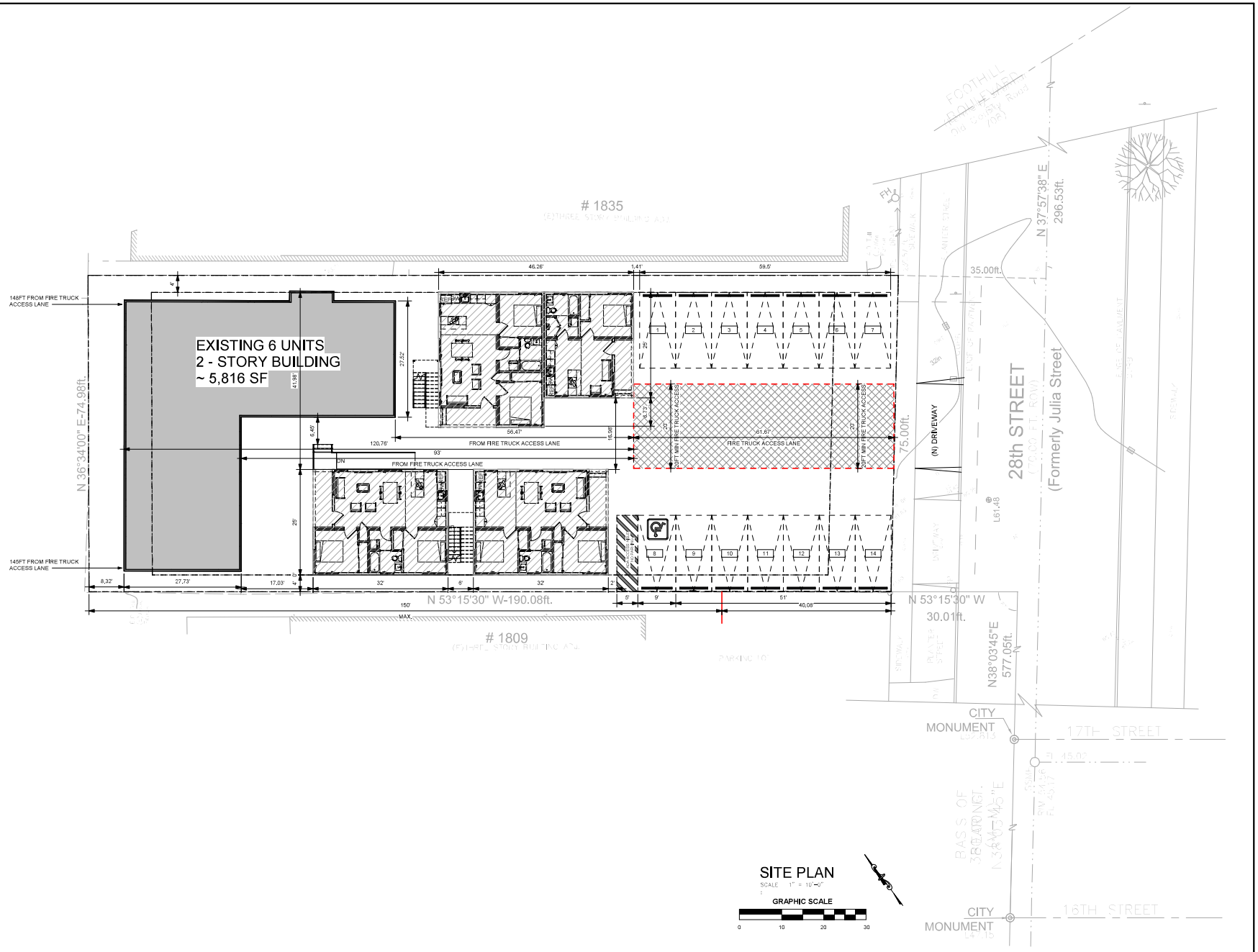

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07/08/19

28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

#	DESCRIPTION	DATE

1821-1825 28TH AVE MULTI-FAMILY APARTMENTS

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OAKLAND, CA 94601

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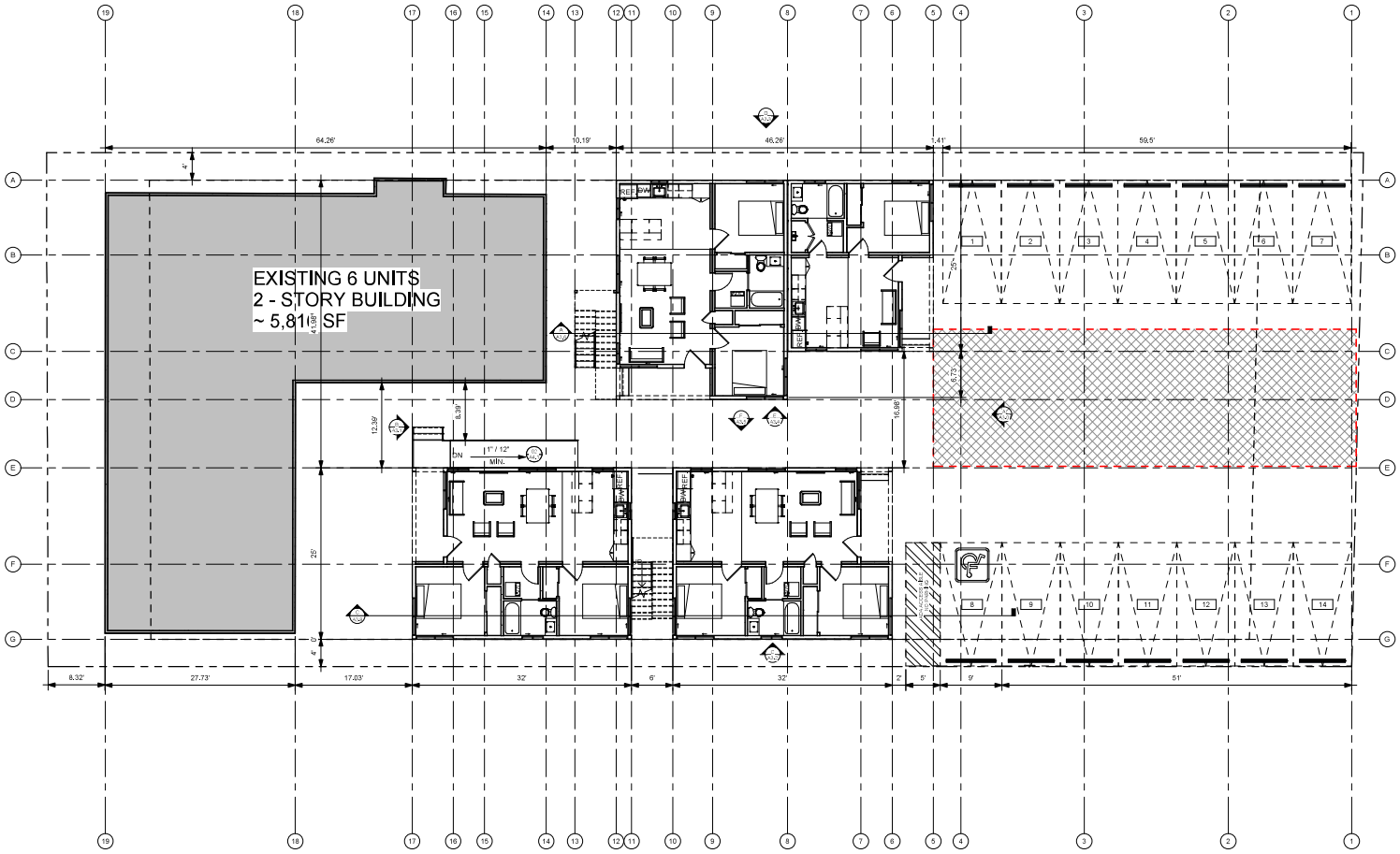
SHEET TITLE
SITE PLAN

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	1" = 10'-0"

A1.0

OF 26 SHTS



GROUND LEVEL FLOOR PLAN

SCALE 1/8" = 1'-0"

PARKING SCHEDULE	
MARK	TYPE
1	8'-6" x 18' STANDARD
2	8'-6" x 18' STANDARD
3	8'-6" x 18' STANDARD
4	8'-6" x 18' STANDARD
5	8'-6" x 18' STANDARD
6	8'-6" x 18' STANDARD
7	8'-6" x 18' STANDARD
8	9' x 18' w/ 5' ACCESS AISLE ADA PARKING
9	8'-6" x 18' STANDARD
10	8'-6" x 18' STANDARD
11	8'-6" x 18' STANDARD
12	8'-6" x 18' STANDARD
13	8'-6" x 18' STANDARD
14	8'-6" x 18' STANDARD
TOTAL: 14	

GENERAL NOTES:

1. LABELS PER PRINT.
2. THE SUPPORT AND FIRE STOPPING FOR FLUES AND DUCTS FOR SITE INSTALLED HEATING SYSTEMS, WATER HEATERS, FIREPLACES, ETC. SHALL BE INSTALLED BY OTHERS.
3. THIS HOME MAY BE BUILT PARTIALLY OR COMPLETELY REVERSED.
4. ALL HALLWAYS ARE 36" IN WIDTH.
5. FURNACE, WATER HEATER, AND VENTS MAY BE SITE INSTALLED. (COMBUSTION AIR & FRESH AIR TO BE SUPPLIED ON SITE BY OTHERS.
6. ALL FIREPLACES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND BE PROVIDED WITH GLASS DOORS.
7. ALL HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE BACKFLOW PREVENTION DEVICES.
8. ALL SHOWER AND BATHTUB SLIDING OR SWINGING DOORS SHALL BE TEMPERED.
9. PROVIDE OUTSIDE COMBUSTION AIR AT EXTERIOR WALL AT ALL FIREPLACES.
10. BATHTUB AND SHOWER FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE UP TO A HEIGHT OF 6'-0" ABOVE THE FLOOR PER CRC 307.2.
11. EXTERIOR LIGHTS MAY BE SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
12. SIDING FOR ENDS IS SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
13. BOTTOM ROW OF SIDING MAY BE SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
14. SMOKE ALARMS/DETECTORS SHALL BE HARDWIRED
15. INTERCONNECTED, AND HAVE BATTERY BACK-UP.

NOTES:

1. GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN 6" (5 PERCENT SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM BUILDING. R401.3
2. GARAGE FLOOR SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. R309.1
3. DECK GUARDS ARE SITE BUILT. THEY WILL BE A MINIMUM OF 42" AFF. NOT ALLOW THE PASSAGE OF A 4" SPHERE AND MEET THE MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS IN TABLE R301.5.

STRUCTURAL NOTES:

REFER TO STRUCTURAL DRAWINGS
BY PRECISION ENGINEERING, INC

EGRESS NOTES:

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT., 5'-0" SQ. FT. ALLOWABLE AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH SHALL BE 20 INCHES. FINISH SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

EGRESS WINDOWS ARE INDICATED WITH "E" ON THE WINDOW SCHEDULE

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07/08/19

28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

#	DESCRIPTION	DATE

1821-1825 28TH AVE
MULTI-FAMILY APARTMENTS
28TH STREET
OAKLAND, CA 94601

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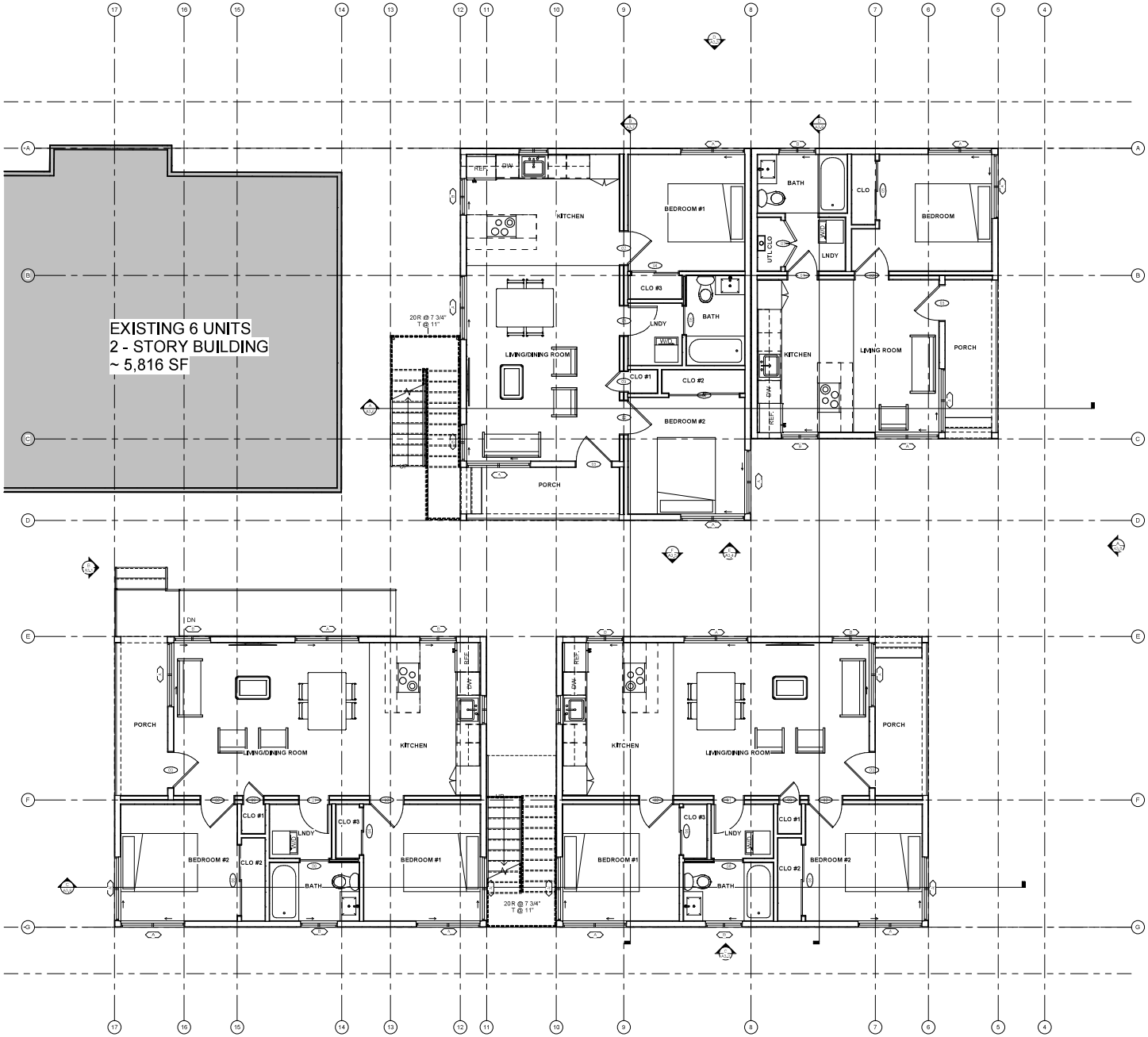
SHEET TITLE
GROUND LEVEL FLOOR PLAN

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A2.0
OF 26 SHTS

7/8/2019 11:09:59 AM



GENERAL NOTES:

1. LABELS PER PRINT.
2. THE SUPPORT AND FIRE STOPPING FOR FLUES AND DUCTS FOR SITE INSTALLED HEATING SYSTEMS, WATER HEATERS, FIREPLACES, ETC. SHALL BE INSTALLED BY OTHERS.
3. THIS HOME MAY BE BUILT PARTIALLY OR COMPLETELY REVERSED.
4. ALL HALLWAYS ARE 36" IN WIDTH.
5. FURNACE, WATER HEATER, AND VENTS MAY BE SITE INSTALLED, (COMBUSTION AIR & FRESH AIR TO BE SUPPLIED ON SITE BY OTHERS.
6. ALL FIREPLACES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND BE PROVIDED WITH GLASS DOORS.
7. ALL HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE BACKFLOW PREVENTION DEVICES.
8. ALL SHOWER AND BATHTUB SLIDING OR SWINGING DOORS SHALL BE TEMPERED.
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13. BOTTOM ROW OF SIDING MAY BE SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
14. SMOKE ALARMS/DETECTORS SHALL BE HARDWIRED
15. INTERCONNECTED, AND HAVE BATTERY BACK-UP.

NOTES:

1. GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN 5" (5 PERCENT SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM BUILDING. R401.3
2. GARAGE FLOOR SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. R309.1
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STRUCTURAL NOTES:

REFER TO STRUCTURAL DRAWINGS BY PRECISION ENGINEERING, INC

EGRESS NOTES:

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT., 5'-0" SQ. FT. ALLOWABLE AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH SHALL BE 20 INCHES. FINISH SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

EGRESS WINDOWS ARE INDICATED WITH "E" ON THE WINDOW SCHEDULE

1ST LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"

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07/08/19

28TH STREET
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DESIGN REVIEW

REVISIONS

#	DESCRIPTION	DATE

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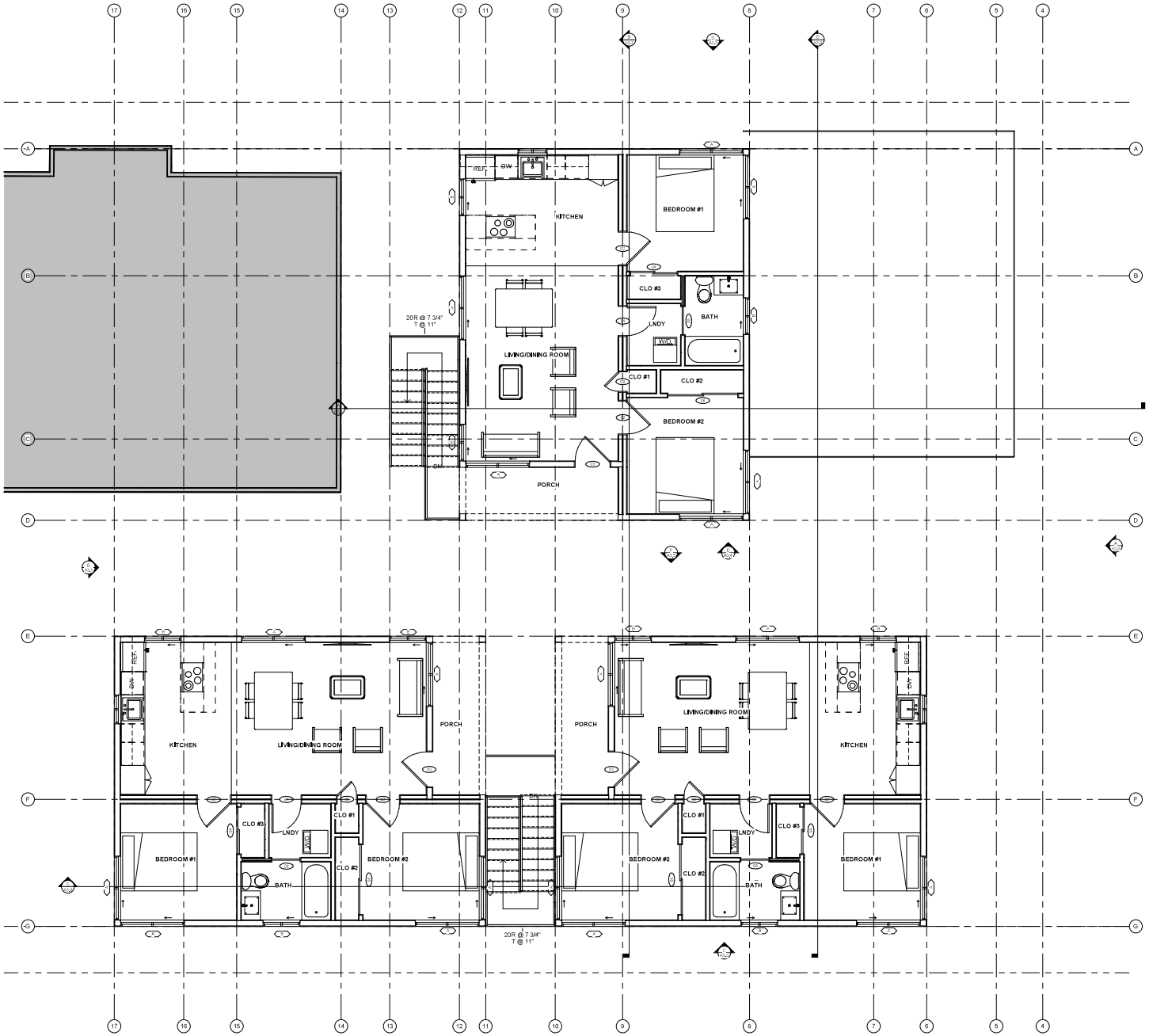
SHEET TITLE
1ST LEVEL FLOOR PLAN

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A2.1

OF 26 SHTS

7/8/2019 11:10:03 AM



GENERAL NOTES:

1. LABELS PER PRINT.
2. THE SUPPORT AND FIRE STOPPING FOR FLUES AND DUCTS FOR SITE INSTALLED HEATING SYSTEMS, WATER HEATERS, FIREPLACES, ETC. SHALL BE INSTALLED BY OTHERS.
3. THIS HOME MAY BE BUILT PARTIALLY OR COMPLETELY REVERSED.
4. ALL HALLWAYS ARE 36" IN WIDTH.
5. FURNACE, WATER HEATER, AND VENTS MAY BE SITE INSTALLED. (COMBUSTION AIR & FRESH AIR TO BE SUPPLIED ON SITE BY OTHERS.
6. ALL FIREPLACES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND BE PROVIDED WITH GLASS DOORS.
7. ALL HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE BACKFLOW PREVENTION DEVICES.
8. ALL SHOWER AND BATHTUB SLIDING OR SWINGING DOORS SHALL BE TEMPERED.
9. PROVIDE OUTSIDE COMBUSTION AIR AT EXTERIOR WALL AT ALL FIREPLACES.
10. BATHTUB AND SHOWER FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE UP TO A HEIGHT OF 6'-0" ABOVE THE FLOOR PER CRC 307.2.
11. EXTERIOR LIGHTS MAY BE SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
12. SIDING FOR ENDS IS SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
13. BOTTOM ROW OF SIDING MAY BE SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
14. SMOKE ALARMS/DETECTORS SHALL BE HARDWIRED
15. INTERCONNECTED, AND HAVE BATTERY BACK-UP.

NOTES:

1. GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN 6" (5 PERCENT SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM BUILDING. R401.3
2. GARAGE FLOOR SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. R309.1
3. DECK GUARDS ARE SITE BUILT. THEY WILL BE A MINIMUM OF 42" AFF. NOT ALLOW THE PASSAGE OF A 4" SPHERE AND MEET THE MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS IN TABLE R301.5.

STRUCTURAL NOTES:

REFER TO STRUCTURAL DRAWINGS
BY PRECISION ENGINEERING, INC

EGRESS NOTES:

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EGRESS WINDOWS ARE INDICATED WITH "E" ON THE WINDOW SCHEDULE

2ND LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"

NYU DESIGNS
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07/08/19

28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

#	DESCRIPTION	DATE

1821-1825 28TH AVE
MULTI-FAMILY APARTMENTS
28TH STREET
OAKLAND, CA 94601

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SHEET TITLE
2ND LEVEL
FLOOR PLAN

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A2.2

OF 26 SHTS

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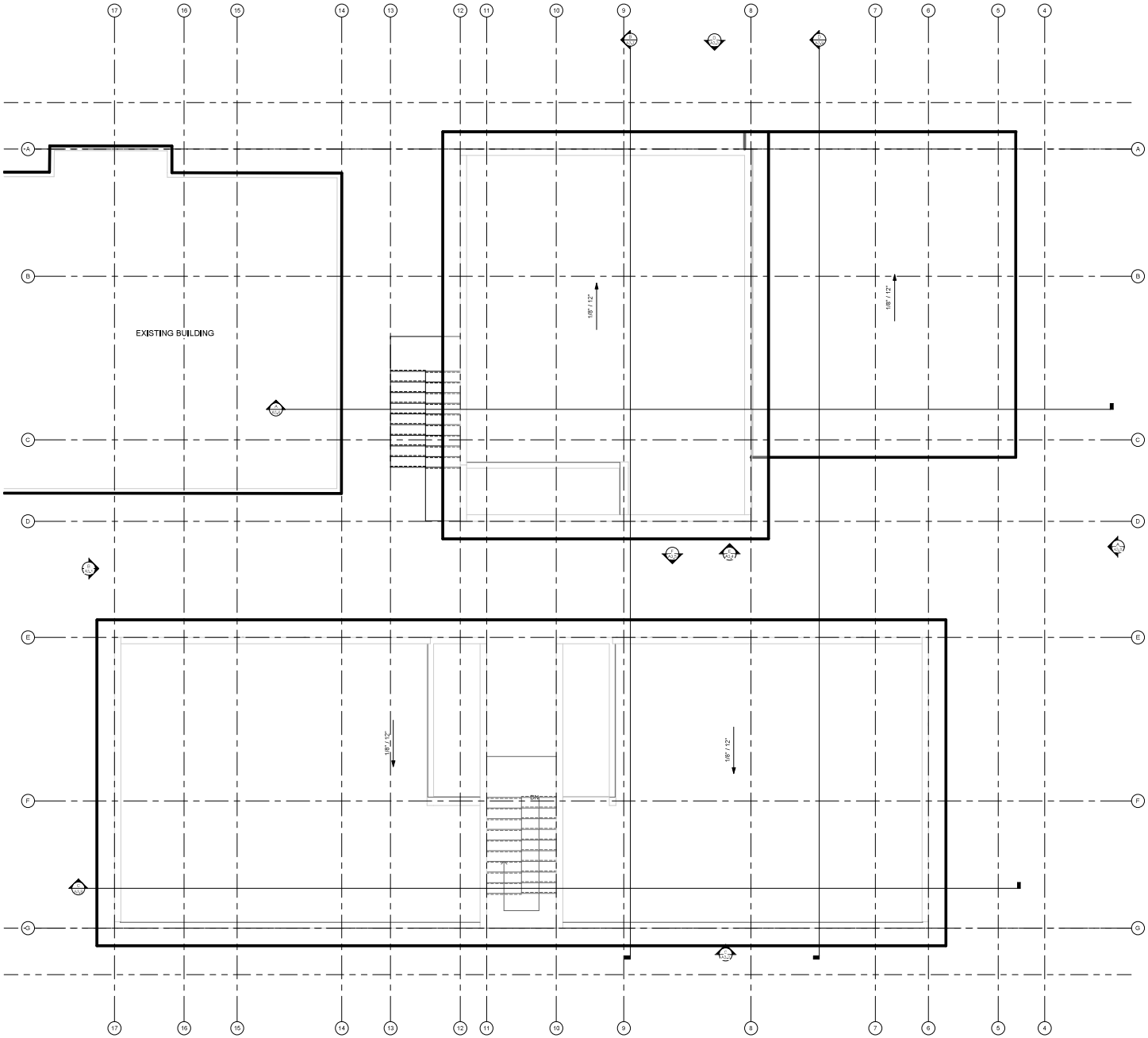

ROOF PLAN
SCALE 1/4" = 1'-0"

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SHEET TITLE
ROOF PLAN

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	1/4" = 1'-0"

A2.3
OF 26 SHTS

7/8/2019 11:10:07 AM

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CONSTRUCTION WILL BE COMPLIANT WITH ALL STATE CODES

A ELEVATION
SCALE 1/4" = 1'-0"

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SHEET TITLE
ELEVATION - A

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A3.0
OF 26 SHTS

7/8/2019 11:10:10 AM

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B ELEVATION
SCALE 1/4" = 1'-0"

NYU DESIGNS

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07/08/19

28TH STREET
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SHEET TITLE
ELEVATION - B

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SCALE	As indicated

A3.1

OF 26 SHTS

7/8/2019 11:10:14 AM

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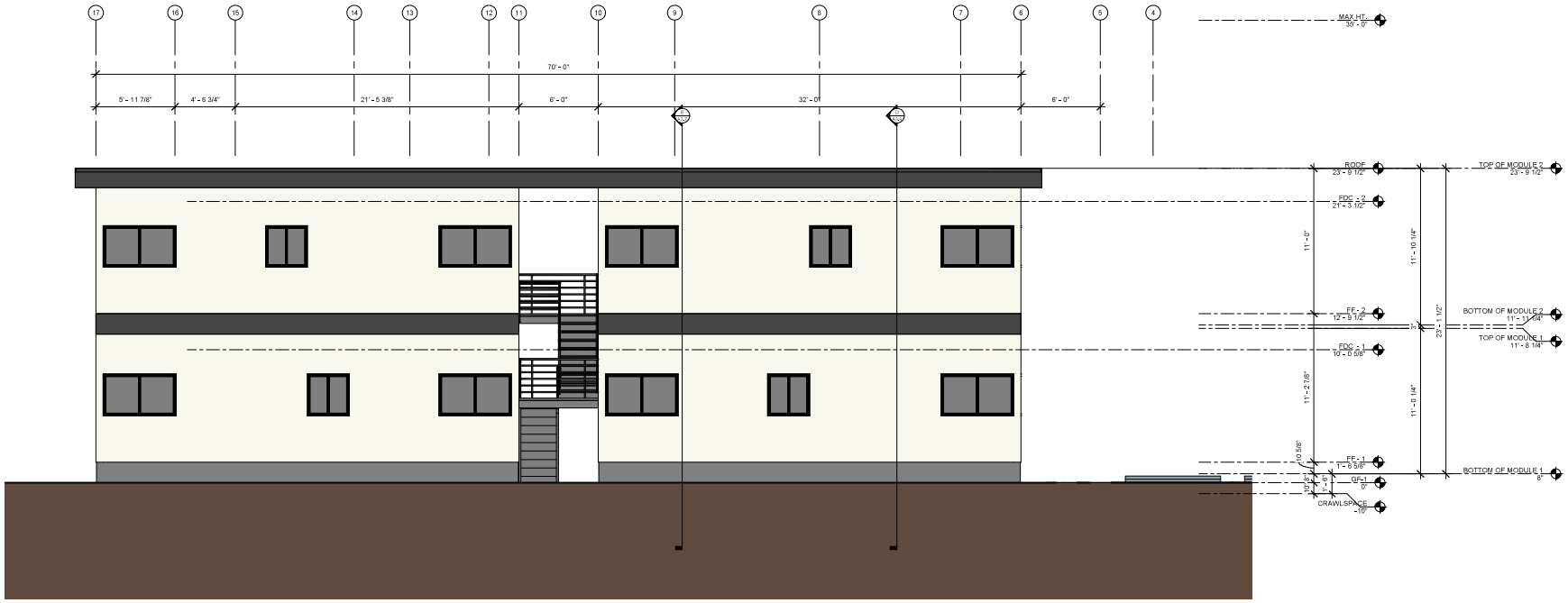

C ELEVATION
SCALE 1/4" = 1'-0"

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07/08/19

28TH STREET
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DESIGN REVIEW

REVISIONS

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SHEET TITLE
ELEVATION - C

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A3.2

OF 26 SHTS

7/8/2019 11:10:17 AM

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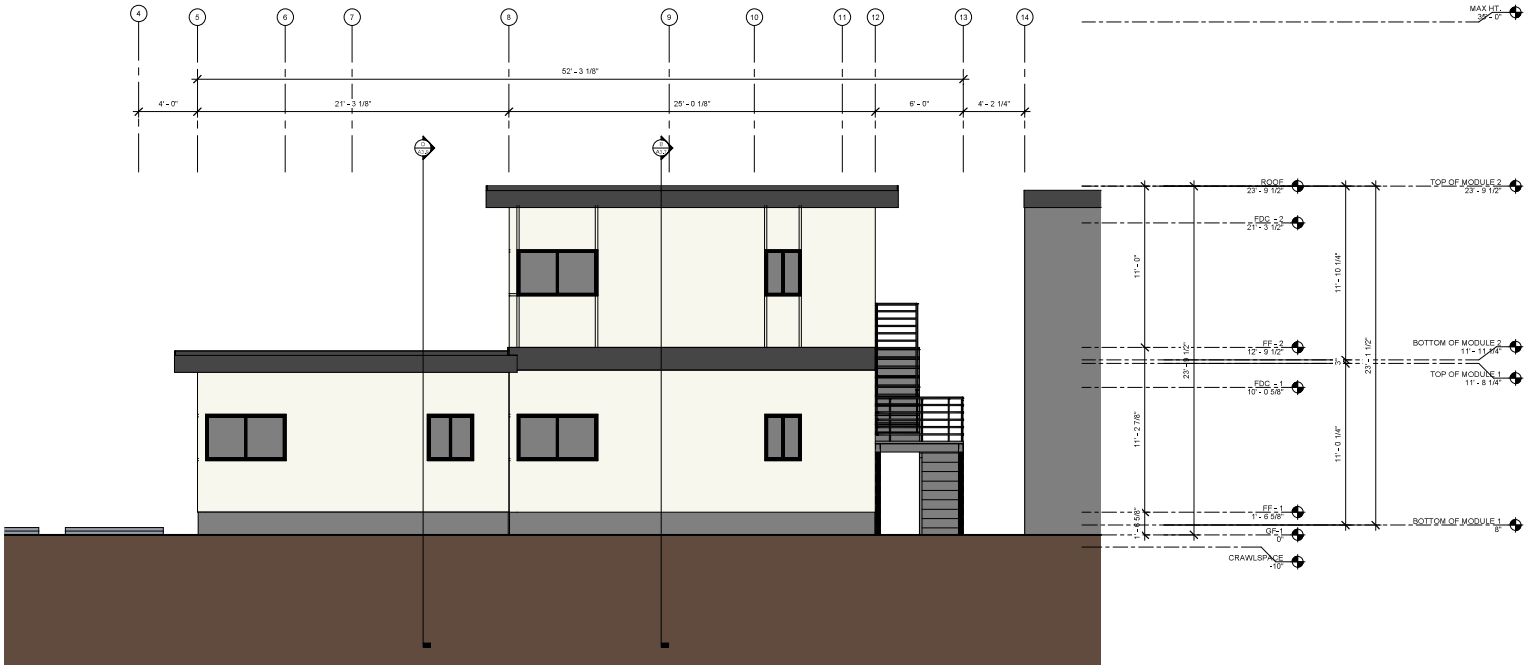

D ELEVATION
SCALE 1/4" = 1'-0"

NYU DESIGNS

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07/08/19

28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

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SHEET TITLE
ELEVATION - D

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A3.3

OF 26 SHTS

7/8/2019 11:10:18 AM

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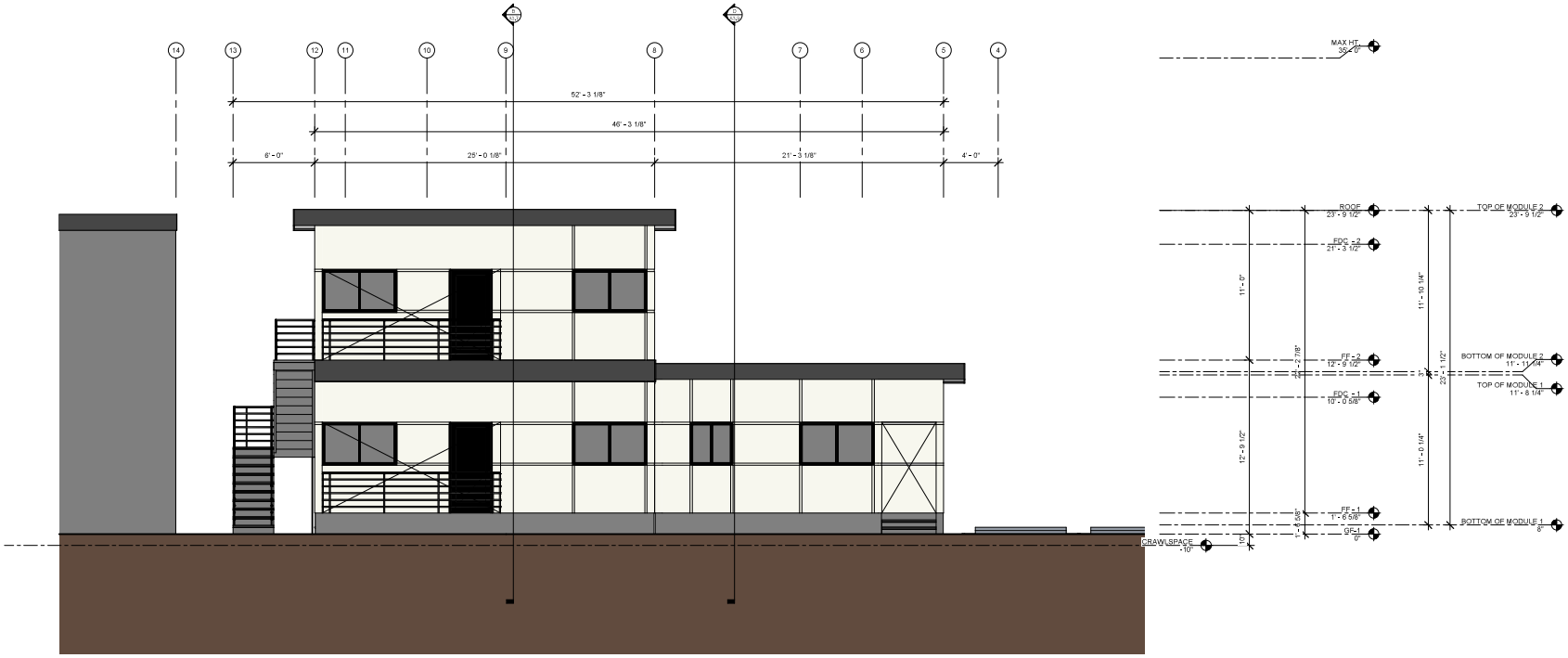

E ELEVATION
SCALE 1/4" = 1'-0"

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07/08/19

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A3.4
OF 26 SHTS

7/8/2019 11:10:20 AM

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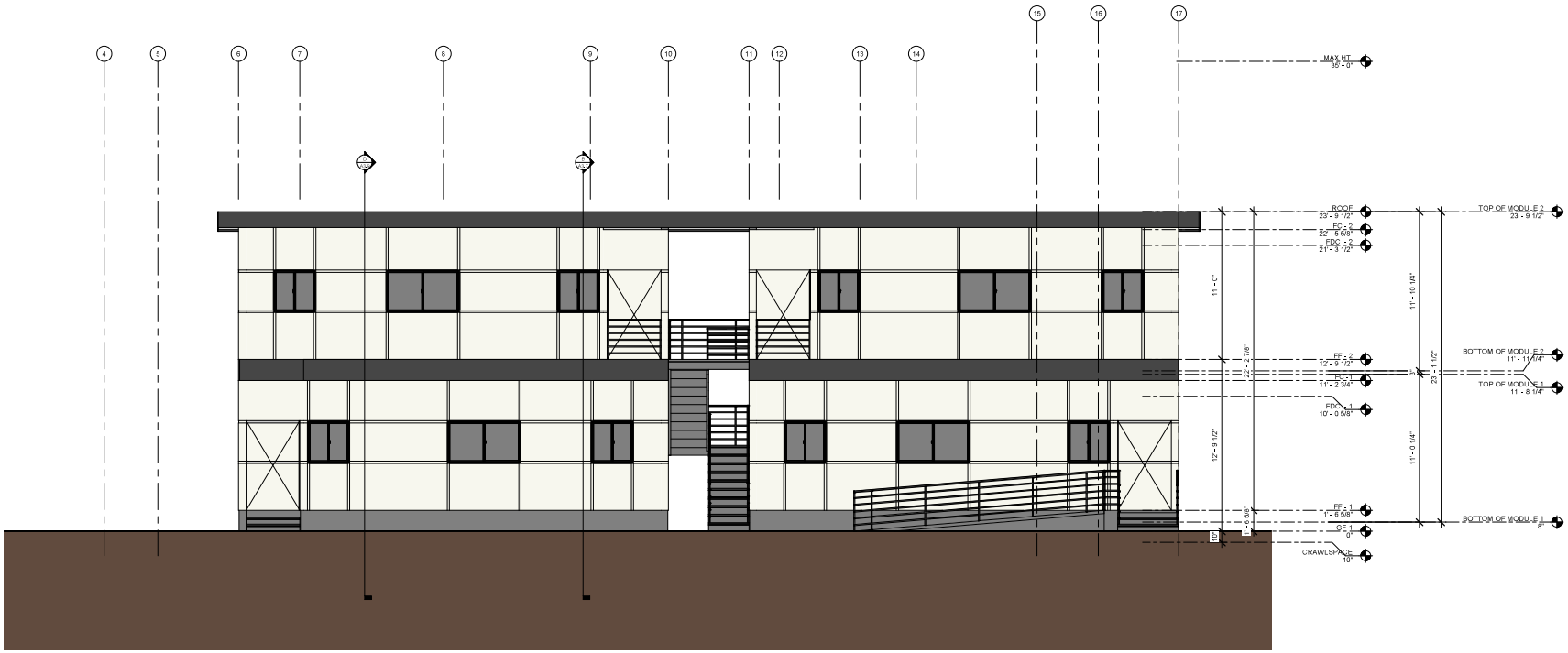

F ELEVATION
SCALE 1/4" = 1'-0"

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REVISIONS

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SHEET TITLE
ELEVATION - F

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A3.5
OF 26 SHTS

7/8/2019 11:10:23 AM

FRAMING NOTES:

1. STUD TO PLATE 2x6 3-10d, 2x4 210d.
2. DOUBLE 2x6 OR 2x4 TWO ROWS 2d @16" STAGGERED.
3. FLOOR RIM AND BEAM PLYS TO BE FASTENED WITH 3 ROWS 10d NAILS @ 12"
4. HEADER PLYS TO BE FASTENED WITH 2 ROW 10d @ 8".
5. HEADERS TO BE (3) 2x w/1/2" OSB FILLERS.
6. MINIMUM TOP PLATE LAP TO BE 48"
7. STUD GRADE TO BE SPF #2 OR BETTER.
8. PLATE GRADE TO BE SPF #2 OR BETTER.
9. RIM GRADE TO BE SPF #2 OR BETTER.
10. HEADER GRADE TO BE SPF #2 OR BETTER.
11. ROOF TRUSSES PLACED @ 24" o.c.
12. 11-1/4" OPEN FLOOR JOISTS PLACED @ 16" o.c.

EGRESS NOTES:

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT., 5'-0" SQ. FT. ALLOWABLE AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH SHALL BE 20 INCHES. FINISH SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

EGRESS WINDOWS ARE INDICATED WITH "E" ON THE WINDOW SCHEDULE

STRUCTURAL NOTES:

REFER TO STRUCTURAL DRAWINGS
BY PRECISION ENGINEERING, INC

ELEVATION NOTES:

IF APPLICABLE, HANDICAP RAMP(S), STAIR(S), AND HANDRAILS ARE SITE INSTALLED, DESIGNED BY OTHERS AND SUBJECT TO LOCAL CODES. THIS STRUCTURE IS A MODULAR (FACTORY BUILT) BUILDING WHICH IS TO BE CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH AN APPROVED THIRD PARTY QUALITY ASSURANCE PROGRAM TO INSURE COMPLIANCE WITH THE REFERENCED CODES.

ALL ROOFING, VENTILATION, SOFFIT, EAVES AND DECKING THAT WILL BE SITE INSTALLED WILL MEET ALL FIRE RATING REQUIREMENTS.

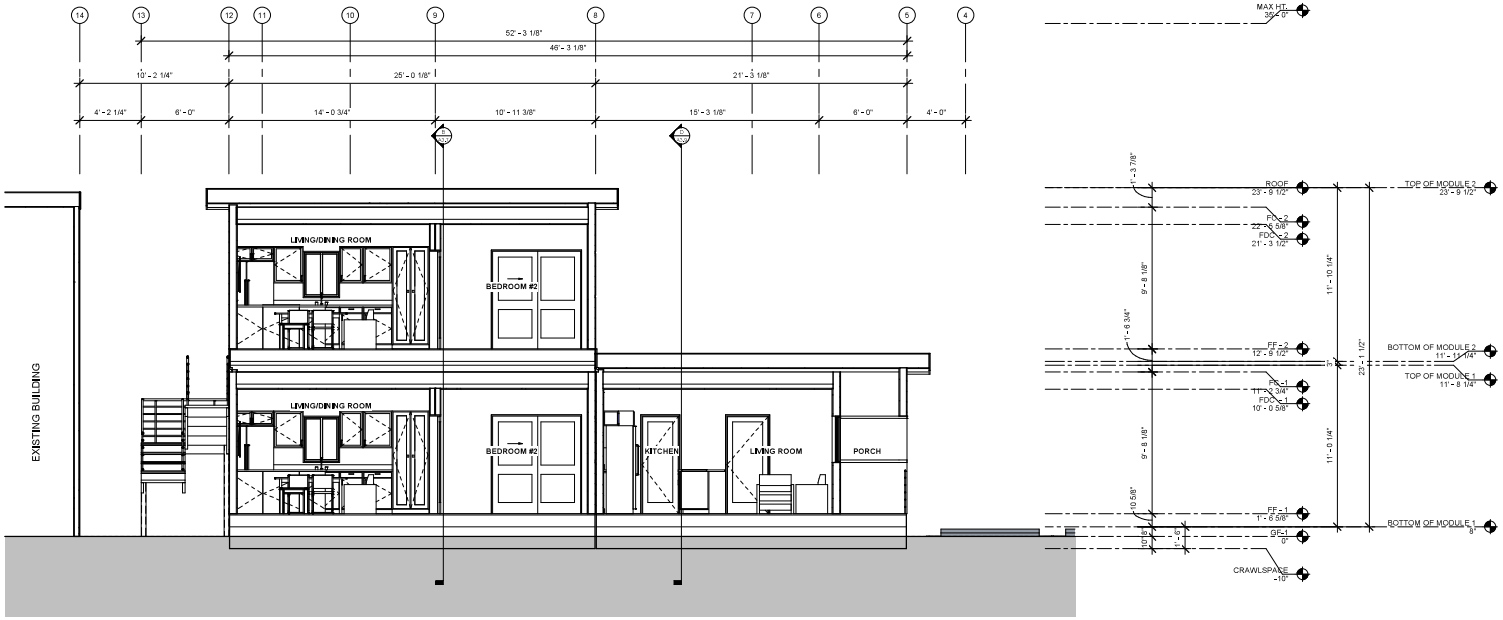
HCD GIVES AUTHORITY TO THE APPROVED THIRD PARTY INSPECTOR TO HAVE JURISDICTION OVER PLAN APPROVALS AND PLAN INSPECTORS. THIRD PARTY STAMPED PLANS ARE FINAL AND CANNOT BE SUBJECT TO CHANGE BY OTHER AGENCIES.

GENERAL NOTES

EXTERIOR JOINTS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE SUCH AS ROUND WINDOWS AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF/CEILING AND BETWEEN WALL PANELS, OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS, AND ROOFS AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED IN AN APPROVED MANNER

SOFFIT VENTS AND RIDGE VENTS EQUAL TO 1/150 OF TOTAL ROOF AREA (THIS FACTOR MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER OF 1 PERM OR LESS IS INSTALLED IN ATTIC)

CONSTRUCTION WILL BE COMPLIANT WITH ALL STATE CODES



A SECTION
SCALE 1/4" = 1'-0"

NYU DESIGNS

PAUL J. NYULASSIE
510.809.5883
PAUL@MODERNPREFABHOUSE.COM

07/08/19

28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

#	DESCRIPTION	DATE

1821-1825 28TH AVE MULTI-FAMILY APARTMENTS

28TH STREET
OAKLAND, CA 94601

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SHEET TITLE
BUILDING SECTIONS - A

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A3.6

OF 26 SHTS

7/8/2019 11:10:27 AM

FRAMING NOTES:

1. STUD TO PLATE 2x6 3-10d, 2x4 210d.
2. DOUBLE 2x6 OR 2x4 TWO ROWS 2d @16" STAGGERED.
3. FLOOR RIM AND BEAM PLYS TO BE FASTENED WITH 3 ROWS 10d NAILS @ 12"
4. HEADER PLYS TO BE FASTENED WITH 2 ROW 10d @ 8".
5. HEADERS TO BE (3) 2x w/1/2" OSB FILLERS.
6. MINIMUM TOP PLATE LAP TO BE 48"
7. STUD GRADE TO BE SPF #2 OR BETTER.
8. PLATE GRADE TO BE SPF #2 OR BETTER.
9. RIM GRADE TO BE SPF #2 OR BETTER.
10. HEADER GRADE TO BE SPF #2 OR BETTER.
11. ROOF TRUSSES PLACED @ 24" o.c.
12. 11-1/4" OPEN FLOOR JOISTS PLACED @ 16" o.c.

EGRESS NOTES:

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT., 5-0" SQ. FT. ALLOWABLE AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH SHALL BE 20 INCHES. FINISH SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

EGRESS WINDOWS ARE INDICATED WITH "E" ON THE WINDOW SCHEDULE

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REFER TO STRUCTURAL DRAWINGS BY PRECISION ENGINEERING, INC

ELEVATION NOTES:

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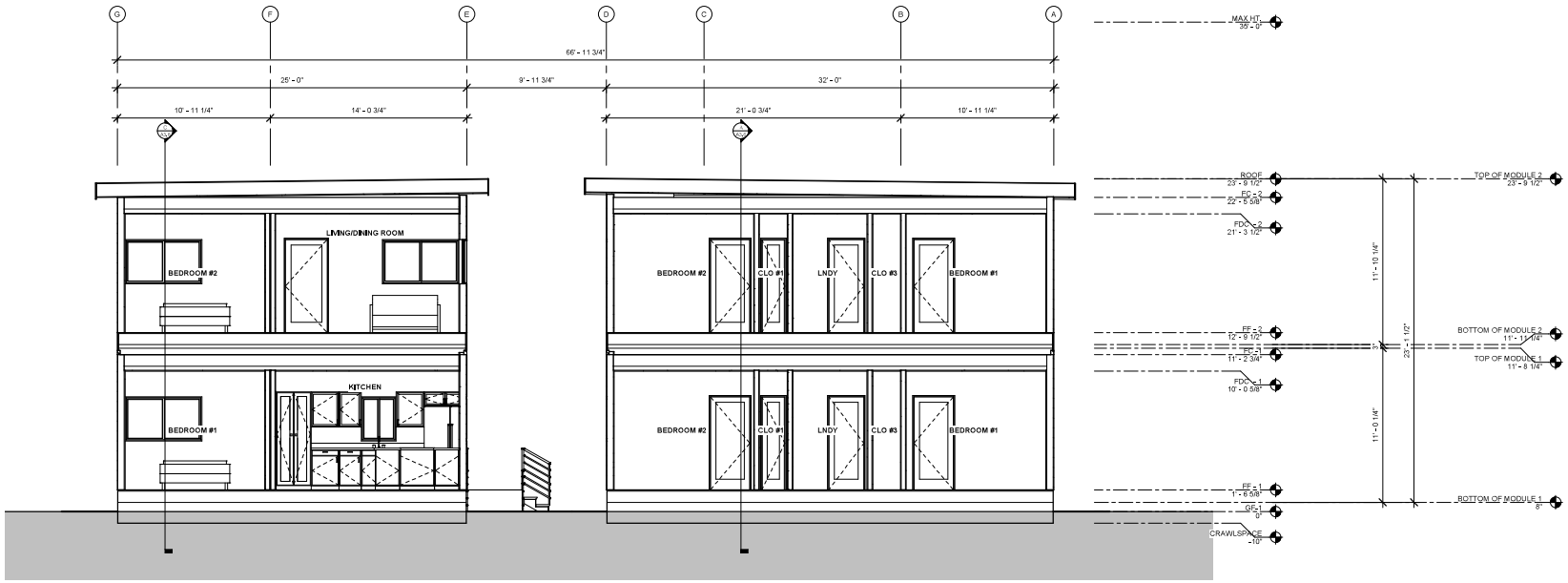
CONSTRUCTION WILL BE COMPLIANT WITH ALL STATE CODES



B SECTION
SCALE 1/4" = 1'-0"

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07/08/19

28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

#	DESCRIPTION	DATE

1821-1825 28TH AVE
MULTI-FAMILY APARTMENTS
28TH STREET
OAKLAND, CA 94601

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SHEET TITLE
BUILDING SECTIONS - B

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A3.7

OF 26 SHTS

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FRAMING NOTES:

1. STUD TO PLATE 2x6 3-10d, 2x4 210d.
2. DOUBLE 2x6 OR 2x4 TWO ROWS 2d @16" STAGGERED.
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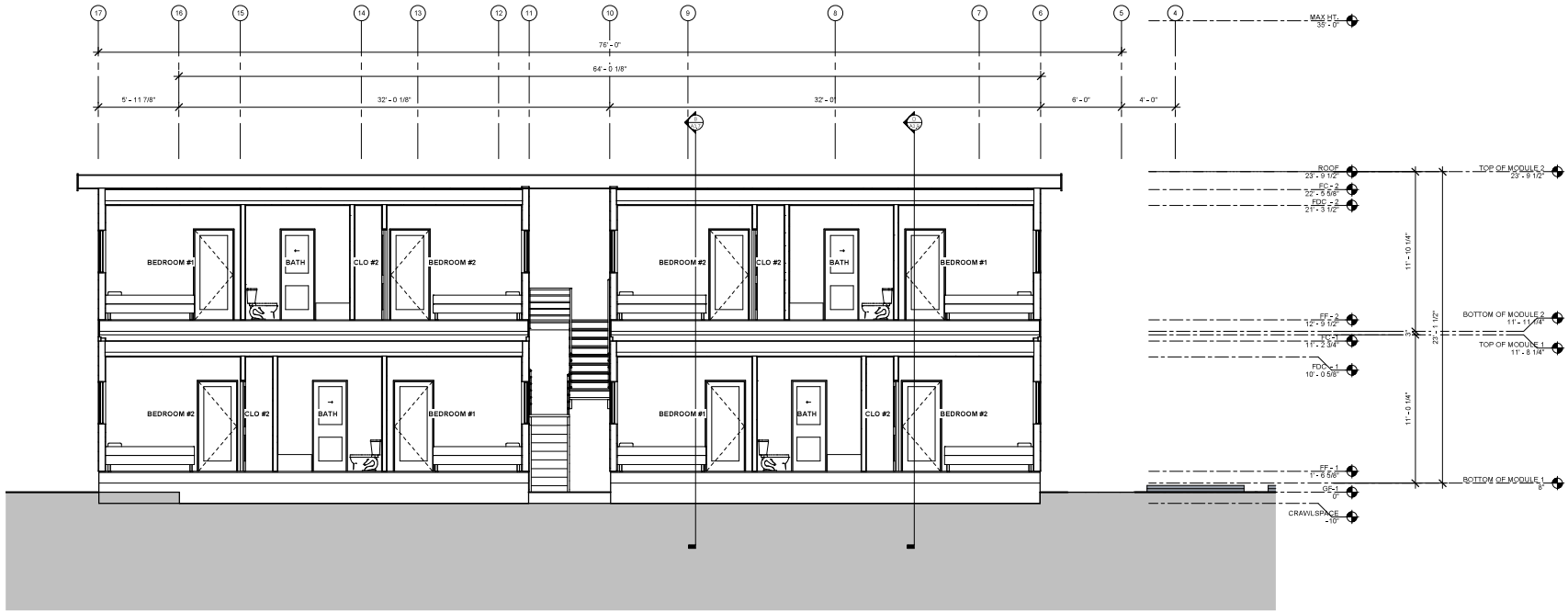

C SECTION
SCALE 1/4" = 1'-0"

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510.809.5883
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07/08/19

28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

#	DESCRIPTION	DATE

1821-1825 28TH AVE
MULTI-FAMILY APARTMENTS
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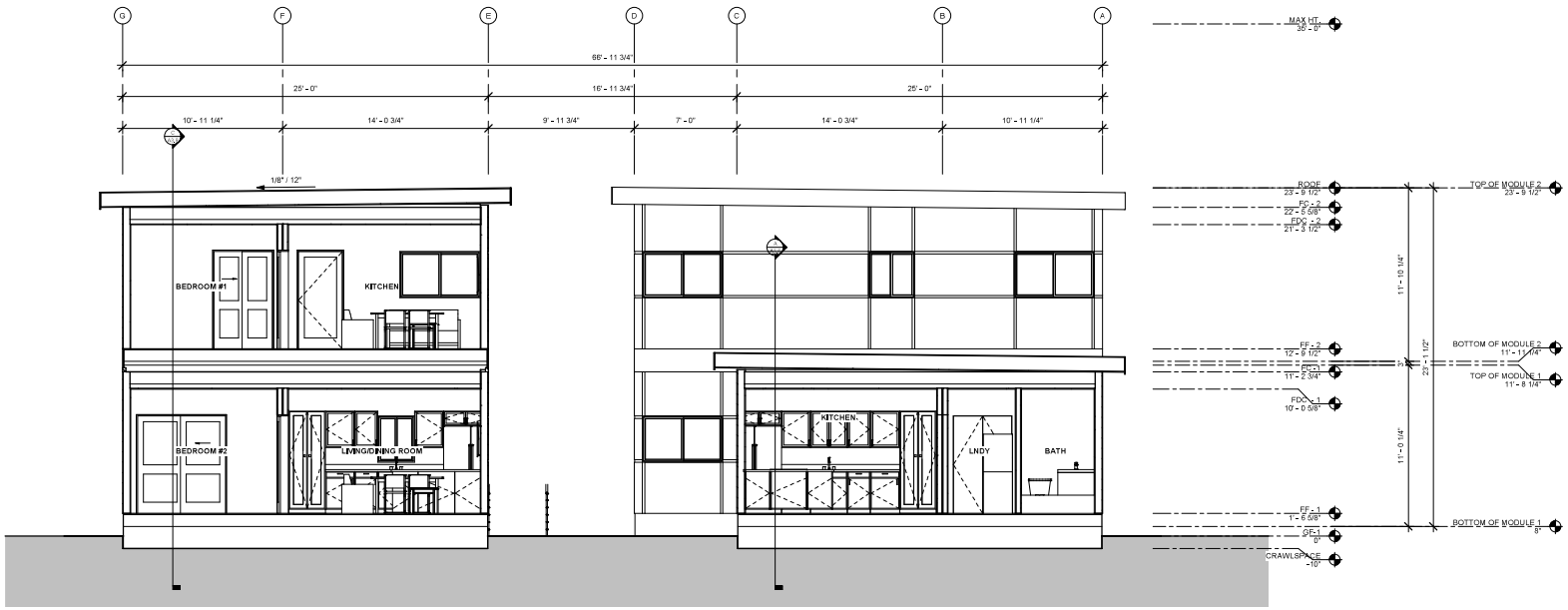
SHEET TITLE
BUILDING
SECTIONS - C

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A3.8

OF 26 SHTS



D SECTION
SCALE 1/4" = 1'-0"

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PAUL@MODERNPREFABHOUSE.COM

07/08/19

28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

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OAKLAND, CA 94601

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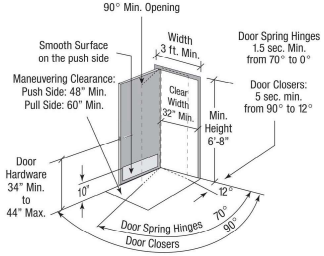
SHEET TITLE
BUILDING
SECTIONS - D

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	1/4" = 1'-0"

A3.9
OF 26 SHTS

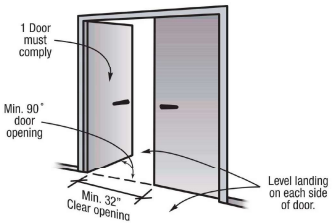
7/8/2019 11:10:37 AM

ACCESSIBLE DOOR & DOORWAY



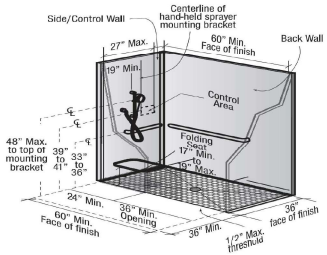
* Door width + 18" for interior door or 24" for exterior door
** Door width + 12" if both latch and closer

DOUBLE LEAF DOOR

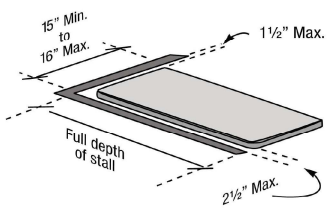


ACCESSIBLE DOORWAY | N.T.S | 08

ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENT



RECTANGULAR SEAT

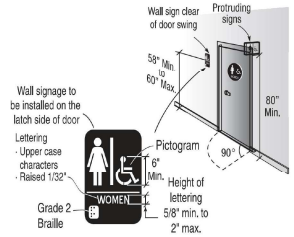


ALTERNATE ROLL-IN SHOWER | N.T.S | 06

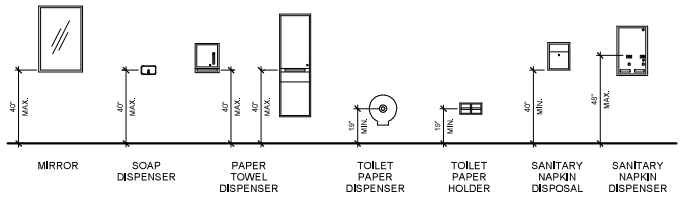
UNISEX TOILET & BATHING FACILITIES SIGNAGE

UNISEX SIGNAGE | N.T.S | 03

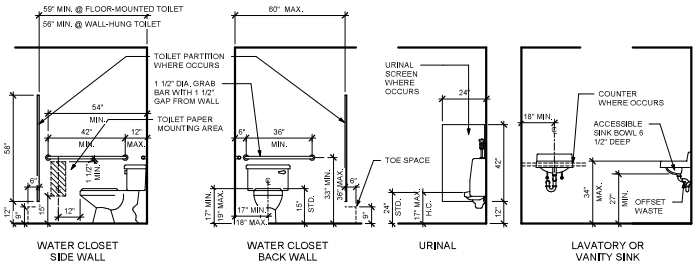
SIGNAGE – INSTALLATION & HEIGHT



SIGNAGE INSTALLATION | N.T.S | 04



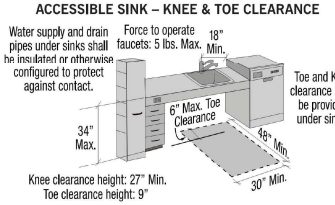
TYPICAL TOILET ACCESSORIES MOUNTING HEIGHTS



TYPICAL PLUMBING FIXTURES & ACCESSORIES MOUNTING HEIGHTS

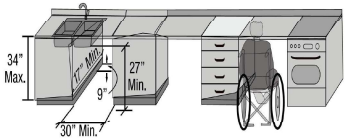
TYPICAL ACCESSORIES HEIGHTS | N.T.S | 01

ACCESSIBLE SINK – KNEE & TOE CLEARANCE



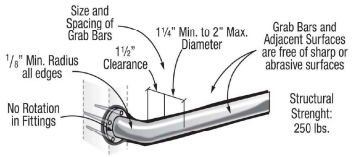
ACCESSIBLE SINK CLEARANCE | N.T.S | 09

ACCESSIBLE KITCHEN SPACE NEXT TO APPLIANCES

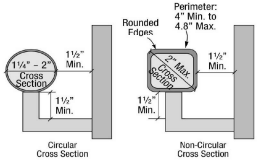


ACCESSIBLE KITCHEN SPACE | N.T.S | 10

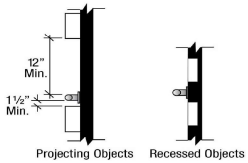
GRAB BAR –DETAILS



CROSS SECTION

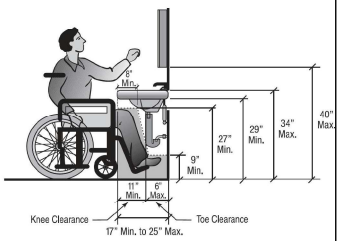


SPACING OF GRAB BARS

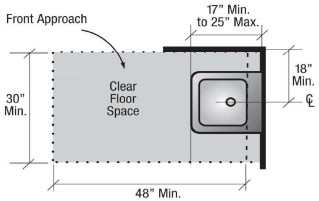


GRAB BAR DETAILS | N.T.S | 07

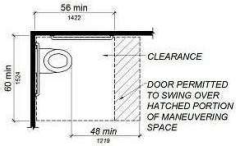
ACCESSIBLE LAVATORIES



LAVATORY – CLEAR FLOOR SPACE



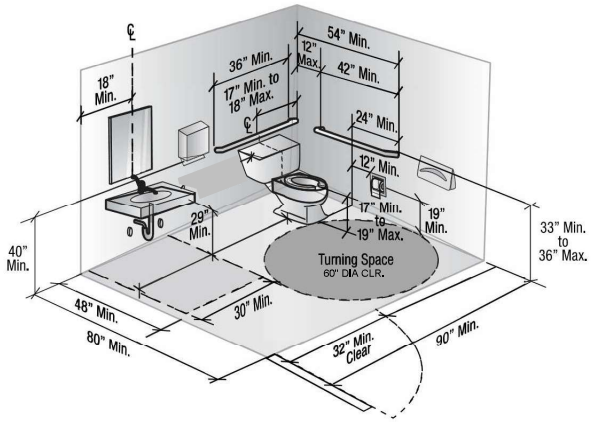
ACCESSIBLE LAVATORY | N.T.S | 05



11B-604.3.1 SIZE

CLEARANCE AROUND A WATER CLOSET SHALL BE 60 INCHES (1524 MM) MINIMUM MEASURED PERPENDICULAR FROM THE SIDE WALL AND 56 INCHES (1422 MM) MINIMUM MEASURED PERPENDICULAR FROM THE REAR WALL. A MINIMUM 60 INCHES (1524 MM) WIDE AND 48 INCHES (1219 MM) DEEP MANEUVERING SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET.

TOILET ROOM



TOILET ROOM | N.T.S | 02

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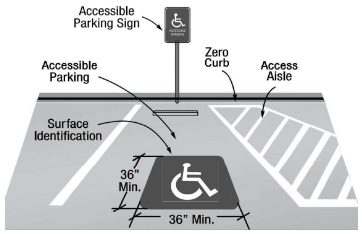
SHEET TITLE
ADA REQUIREMENTS

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	As indicated

A4.0
OF 26 SHTS

7/8/2019 11:10:40 AM

SURFACE IDENTIFICATION – LOCATION



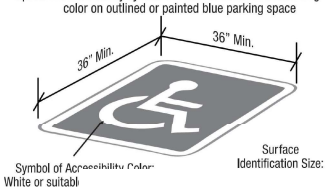
ACCESSIBLE PARKING | N.T.S | 17

PARKING SPACE SURFACE IDENTIFICATION

Surface Identification Color Scheme:

Option 1: Accessibility symbol in white on blue background or

Option 2: Accessibility symbol in white or suitable contrasting color on outlined or painted blue parking space



ACCESSIBLE PARKING SIGN | N.T.S | 18

PARKING SPACE REFLECTORIZED SIGN

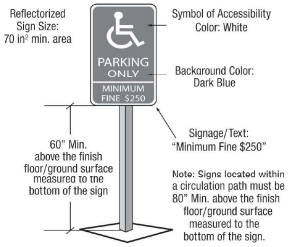


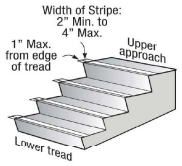
FIGURE 1

VAN-ACCESSIBLE SIGN

Note: All requirements specified in Fig. 1 are applicable to Van Accessible Signs.

ACCESSIBLE PARKING SIGN | N.T.S | 14

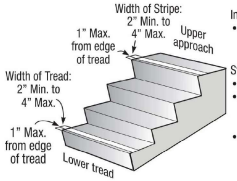
CONTRASTING STRIPE – EXTERIOR STAIRS



Exterior Stairs:
- upper approach and all treads must be marked by a stripe

Stripe must:
- provide visual contrast
- extend the full width of the step or upper approach
- be of material at least as slip resistant as the other treads of the stairs
- a painted stripe is acceptable

CONTRASTING STRIPE – INTERIOR STAIRS

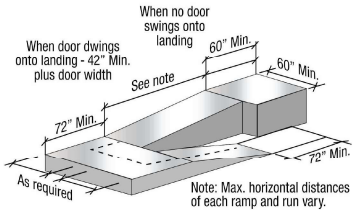


Interior Stairs:
- upper approach and lower tread must be marked by a stripe

Stripe must:
- provide visual contrast
- extend the full width of the step or upper approach
- be of material at least as slip resistant as the other treads of the stairs

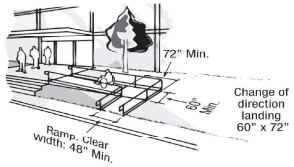
CONTRASTING STRIPE | N.T.S | 10

CHANGE IN DIRECTION



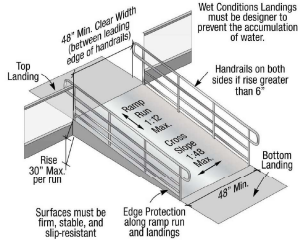
Note: Max. horizontal distances of each ramp and run vary.

RAMPS

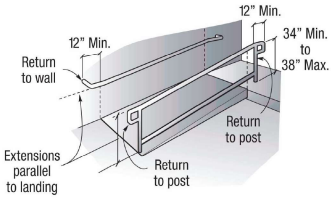


RAMP REQUIREMENTS | N.T.S | 06

RAMP REQUIREMENTS

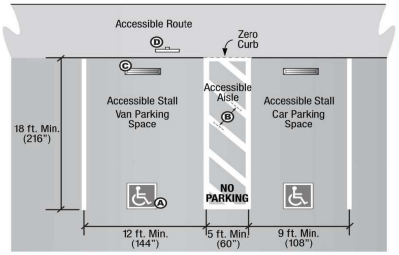


HANDRAIL HEIGHT



RAMP REQUIREMENTS | N.T.S | 02

PARKING SPACE DIMENSIONS



KEY

A: Surface Identification 36" Min. wide x 36" Min. high

B: Access Aisle:
- Blue painted borderline
- Hatched Lines: 36" Max. on center.
- "NO PARKING" must be painted in white letters, 12" Min. Height.

12" Min. NO PARKING 12" Min.

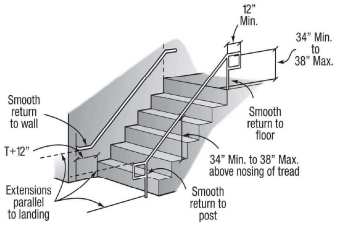
C: Wheel Stop if provided.

D: Parking Identification Sign

NOTE: Width Measurements must be made from Centerline of stripes.

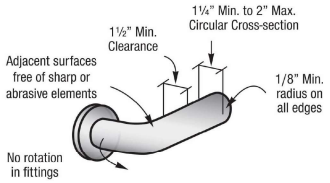
ACESSIBLE PARKING SPACE | N.T.S | 15

HANDRAILS AT STAIRS

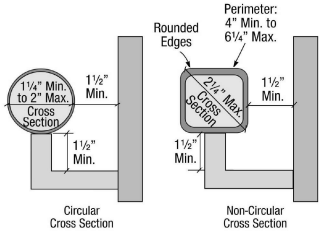


HANDRAIL DETAIL | N.T.S | 11

HANDRAIL DETAILS

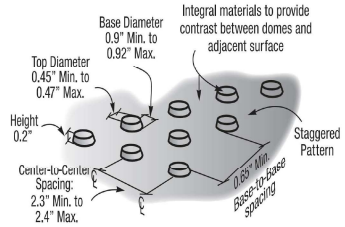


HANDRAILS – GRIPPING SURFACE & CROSS-SECTION

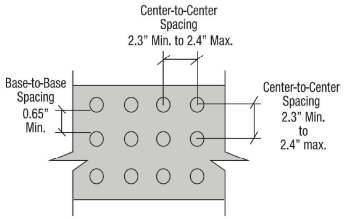


HANDRAIL DETAIL | N.T.S | 08

TRUNCATED DOMES – DETAILS

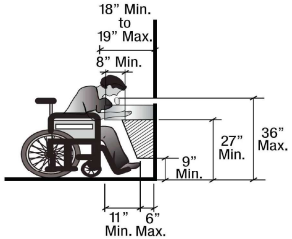


TRUNCATED DOMES – PLAN VIEW



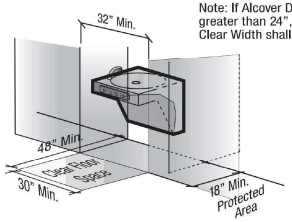
TURNCATED DOMES | N.T.S | 04

TOE & KNEE CLEARANCES



WATER FOUNTAIN | N.T.S | 20

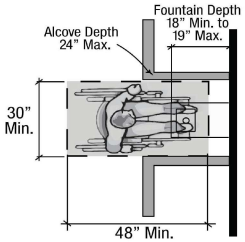
ALCOVE FORWARD APPROACH



Note: If Alcover Depth is greater than 24", Min. Clear Width shall be 36"

WATER FOUNTAIN | N.T.S | 16

CLEAR FLOOR SPACE



WATER FOUNTAIN | N.T.S | 12

NYU DESIGNS
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07/08/19
28TH STREET
OAKLAND, CA 94601

DESIGN REVIEW

REVISIONS

#	DESCRIPTION	DATE

1821-1825 28TH AVE
MULTI-FAMILY APARTMENTS
28TH STREET
OAKLAND, CA 94601

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SHEET TITLE
ADA REQUIREMENTS

PROJECT NO.	NYU19_003
DATE	07/08/2019
SCALE	12" = 1'-0"

A4.1
OF 26 SHTS

7/8/2019 11:10:44 AM